

Legend:  
 ..... Denotes Sprawling Oak  
 Zoning District: West Tisbury RU  
 Setbacks: 50' All Sides  
 Tisbury R3A  
 Setbacks: 50' All Sides

Building 1:  
 First Floor = 32.2  
 Ridge Elevation = 49.5  
 Building 1:  
 First Floor = 31.8  
 Ridge Elevation = 43.4  
 Building 1:  
 First Floor = 37.0  
 Ridge Elevation = 50.8

Assr.-Pcl. 1-48.3  
 "N/F Burgess Lee Berlin Trustee"

Approximate Limit of Coastal District

Site Plan of Land  
 in West Tisbury, Mass.  
 Prepared for  
 Madison Odenberg

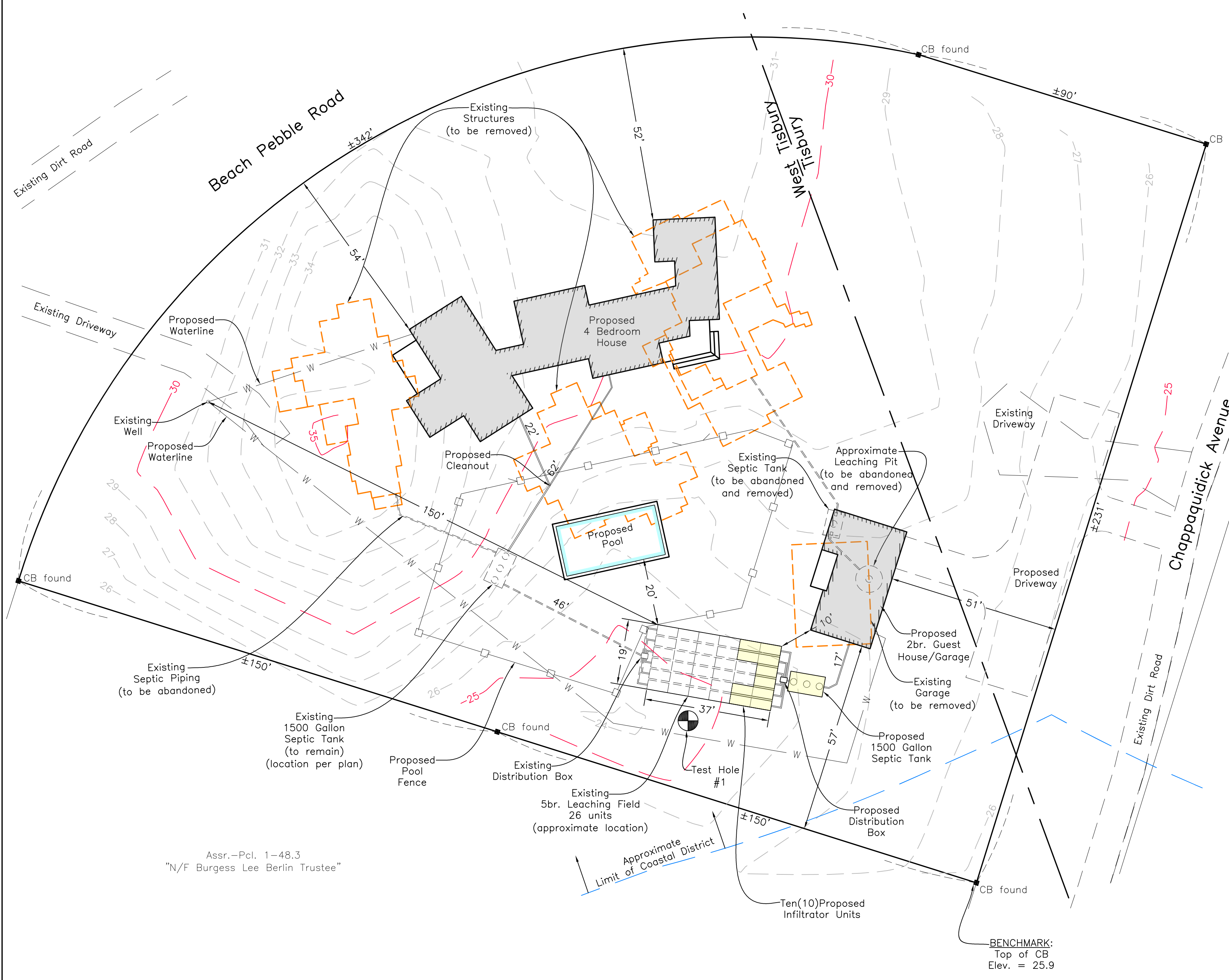
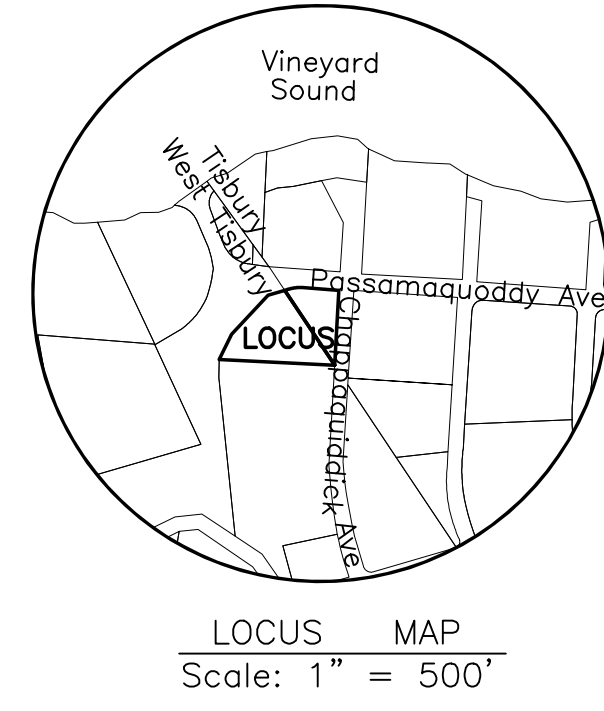
January 31, 2023 Scale: 1"=20'

**VINEYARD LAND SURVEYING & ENGINEERING**  
 12 Cournoyer Road  
 P.O. Box 421  
 West Tisbury, MA 02575  
 P 508-693-3774 F 508-629-0440  
 VLSE.net

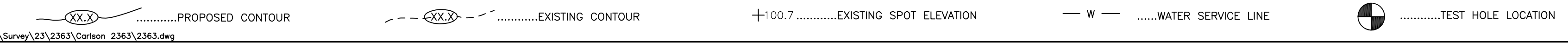


# Plan

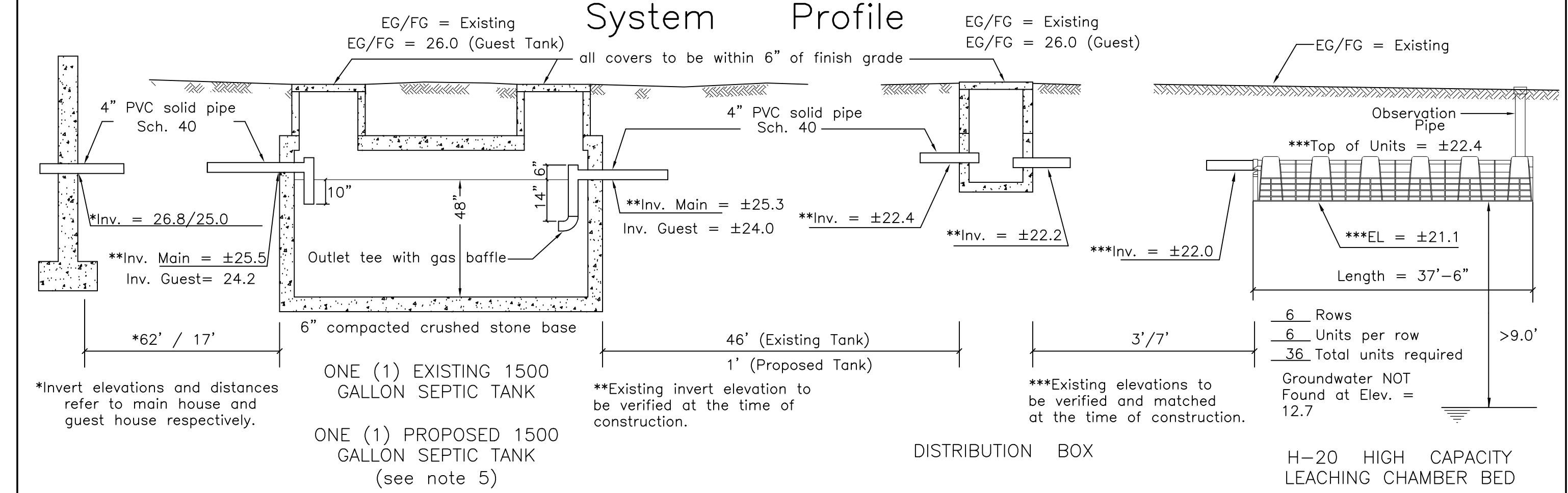
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Datum: ±U.S.G.S.



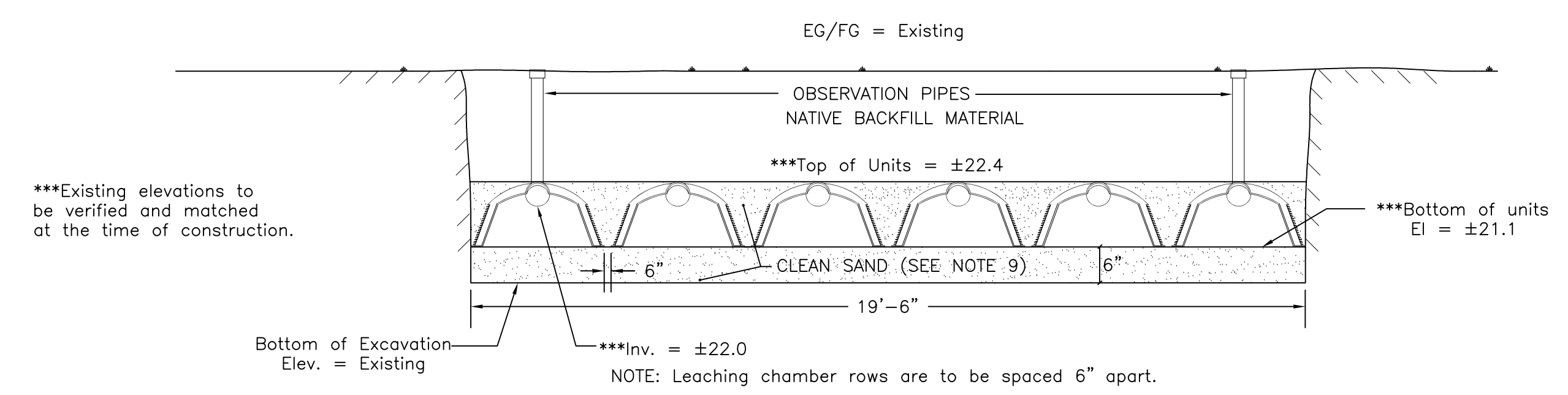
Assr.-Pcl. 1-48.3  
"N/F Burgess Lee Berlin Trustee"



# System Profile



# System Cross Section



To avoid compaction, no machinery is allowed within three vertical feet of bottom of excavation without the specific approval of the design engineer. This leaching facility is not designed for H-20 loads and shall not be driven upon, even though H-20 leaching chambers are specified.

# Notes

- This plan is to be used only for the approval and installation of a sewage disposal system and is not to be used for any other purpose.
- All construction and components shall conform to Massachusetts State Environmental Code TITLE V and Local Board of Health Requirements.
- This design does not warrant the location of underground pipes, wires, utilities or other underground structures. The installer shall be responsible for locating and relocating these objects as necessary.
- No garbage grinder is allowed with this system.
- Any portion of this system subject to vehicular traffic shall be capable of H-20 loading.
- An observation pipe shall be placed as shown and capped at grade so as to allow monitoring of liquid level in the leaching system. Place re-rod flush at each to aid in relocating with metal detector.
- All access covers are to weigh at least 150 lbs. or screwed down.
- Leaching Chambers shall consist of Infiltrator high capacity, ADS high capacity biodiffuser or an approved equivalent.
- Any clean sand fill required by this design is to have less than 4% passing the No. 100 sieve.
- No wells could be found within 150' of the proposed leaching facility.
- The engineer (AND the local approving authority) is to inspect and approve the installation and placement of all septic components before final backfilling.**
- A letter certifying satisfactory construction of this system is to be provided to the owner and the Board of Health by the Engineer.

# Design Criteria

Design Hydraulic Loading:  
6 Bedrooms x 110 GPD/Bedroom = 660 GPD

Septic tank capacity:  
Required: 660 GPD x 200% = 1320 Gal. minimum  
Septic tanks provided = Two (2) 1500 Gal. (1 existing/1 proposed)

Leaching Capacity Provided:  
H-20 High Capacity Leaching Chamber Bed  
36 Leaching Chamber Units (26 existing + 10 additional)  
36 Units x 6.25 linear ft./unit x 4.72 sq.ft./linear ft. = 1062 sq.ft.  
1062 sq.ft. x 0.74 GPD/sq.ft. = 786 GPD (6 bedroom design)

\* Per modified certification for general use High capacity leaching chamber units are allowed 4.7 sq.ft. leaching area per lineal ft. in bed configuration.

# Proposed Septic System Upgrade on Land in West Tisbury, MASS.

Designed for: Madison Odenberg  
Street Address: 26 Chappaquiddick Avenue  
Assessor No.: 1-53  
Lot Area: ±1.33 AC  
Designed By: Meegan Lancaster  
Checked By: R.G.S.  
Date: June 6, 2023  
Revised:  
11/21/2023 : guest house tank location & relocate pool

November 22, 2023



Soil evaluator: Frank Daly, PE SOIL DATA

Deep Observation Hole 1.  
Date: August 8, 2002  
Surface elevation = 24.7  
Depth Horizon Texture

0"-4"	O	
4"-6"	E	Sandy loam
6"-16"	B	Loamy sand
16"-52"	C1	Sand
52"-120"	C2	Sand

Perc. rate < 5 mpi. @24"  
No groundwater found at Elev. = 12.7

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Sheet Number	Sheet Name
<b>Architectural</b>	
A0.0	Cover Sheet
A0.1	Existing Site Plan
A0.2	Site Plan & Architectural Landscaping Plan
A1.0	Main House_Basement & Level 0.5 Floor Plans
A1.1	Main House_Level 1, 1.5, & 2 Floor Plans
A1.3	Main House_Basement & Level 0.5 RCPs
A2.0	Exterior Elevations_North & East
A2.1	Exterior Elevations_South & West
A2.2	Exterior 3D Views_Main House
A4.1	Interior Elevations_Kitchen&Dining
A4.2	Interior Elevations_Living Room
A4.4	Interior Elevations_Writing Room & Primary Hall
A4.6	Interior Elevations_Primary Bath
A5.0	Window & Exterior Door Schedules
A7.0	Garage/Guest House_Floor Plans & Elevations
A7.1	Garage Sections
<b>Structural</b>	
S0.0	General Notes
S1.0	Foundation Plan
S1.1	First Floor Framing Plan
S1.2	Second Floor Framing Plan
S1.3	Roof Framing Plan
S2.0	Structural Details

**GENERAL NOTES**

- ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO: THE MASSACHUSETTS BUILDING CODE (9TH EDITION), MASSACHUSETTS FUEL, GAS, AND PLUMBING CODES, MASSACHUSETTS ELECTRICAL CODE, OSHA REGULATIONS, ORDINANCES OF THE TOWN OF WEST TISBURY, AND THE REQUIREMENTS OF THE WEST TISBURY FIRE DEPARTMENT.
- THE CONTRACTOR SHALL VERIFY IN THE FIELD DIMENSIONS. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THE WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK SHOWN ON THESE DRAWINGS WITH WORK OF ALL TRADES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) AND BRING ANY CONFLICT TO THE ATTENTION OF THE ARCHITECT.

LOT AREA IN WEST TISBURY = 44,180 SF  
 LOT AREA IN TISBURY = 13,751 SF  
**TOTAL LOT AREA = 57,931 SF**

	GFA*	RFA**	
<b>Main House</b>			
Level 0.5	(sf) 715	0	
Level 1	(sf) 1,365	1,250	
Level 1.5	(sf) 845	760	
Level 2	(sf) 375	330	
screened porch (unconditioned)	(sf) 235	0	
	<b>3,300***</b>	<b>2,340</b>	total
<b>Garage/Guest House</b>			
Garage (unconditioned)	(sf) 345	0	
Guest House	(sf)		
Level 1	(sf) 375	330	
	<b>375***</b>	<b>330</b>	total
	<b>3,675</b>	<b>2,670</b>	property total

\* calculated from exterior walls  
 \*\* calculated from interior of exterior walls  
 \*\*\* not including unconditioned spaces

# PRICING SET - NOT FOR CONSTRUCTION

## Odenborg - Stupnitsky Residence

26 Chappaquiddick Ave, West Tisbury MA, 02568

CLIENT: Madison Odenborg & Gene Stupnitsky  
 ARCHITECT: Moskow Linn Architects, 1693 Mass Ave, Cambridge, MA 02138  
 BUILDER: TBD

ISSUE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

SCALE: As indicated  
 DATE: 12.13.2023  
 DRAWN BY: MLA

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 tel. 617.292.2000 fax 617.426.4701  
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Odenborg - Stupnitsky Residence

26 Chappaquiddick Ave, West Tisbury MA 02568

Cover Sheet

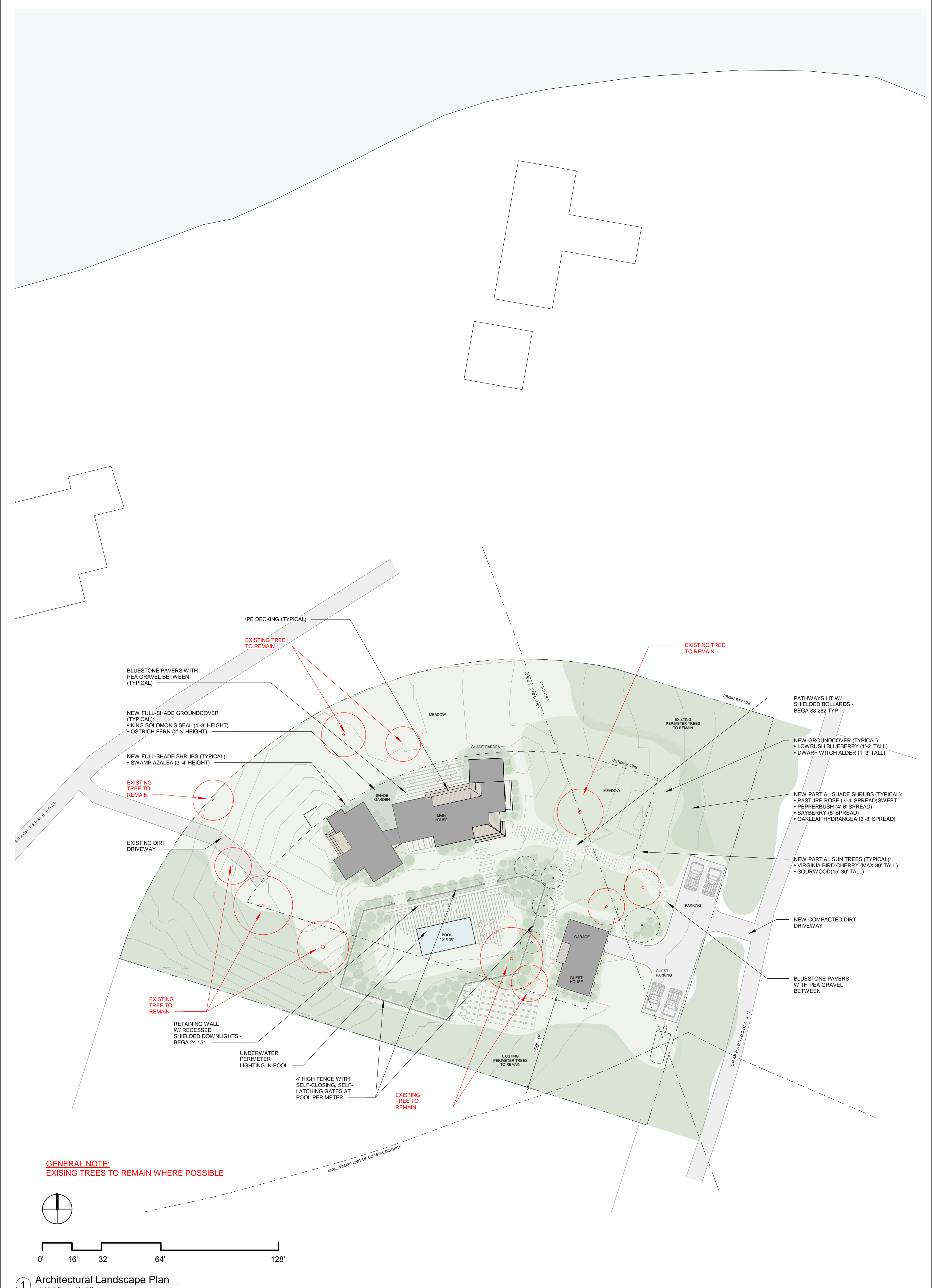
**A0.0**



LOT AREA IN WEST TISBURY = 44,180 SF  
 LOT AREA IN TISBURY = 13,751 SF  
**TOTAL LOT AREA = 57,931 SF**



② Proposed Site Plan  
 1/32" = 1'-0"



① Architectural Landscape Plan  
 1/32" = 1'-0"

**GENERAL NOTE:**  
 EXISTING TREES TO REMAIN WHERE POSSIBLE

ISSUE
DATE

SCALE: 1/32" = 1'-0"
DATE: 12.13.2023
DRAWN BY: MLA

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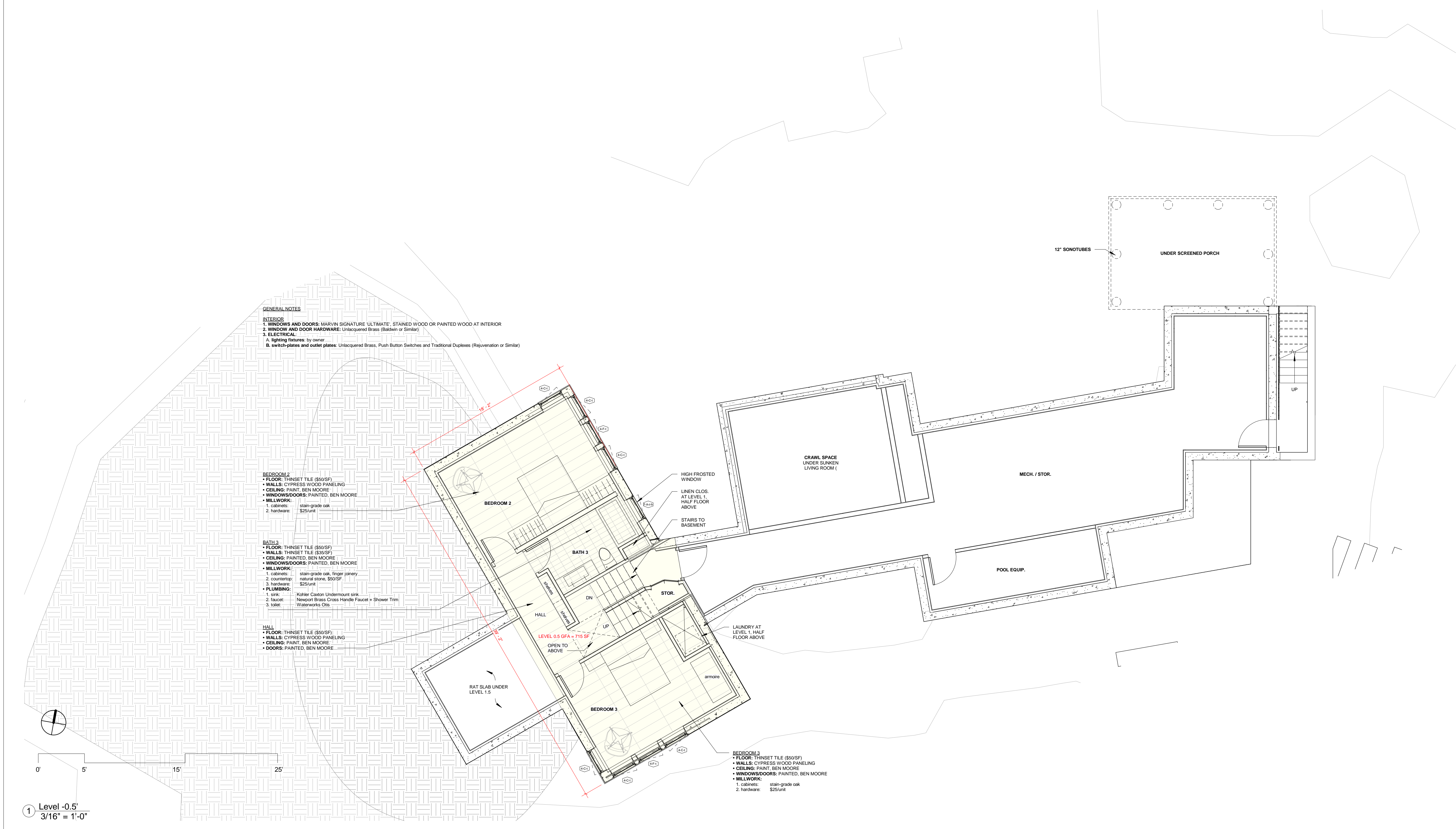
**Odenborg - Stupnitsky Residence**

26 Chappaquiddick Ave., West Tisbury MA 02568  
 Site Plan & Architectural Landscaping Plan

**A0.2**

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**GENERAL NOTES**

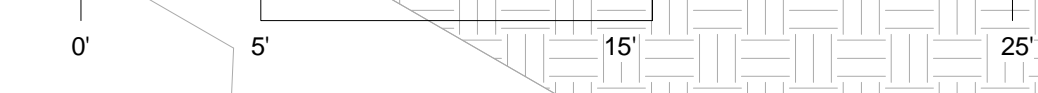
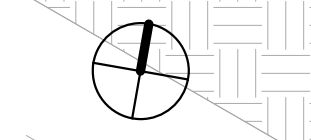
- INTERIORS**  
 1. **WINDOWS AND DOORS:** MARVIN SIGNATURE ULTIMATE, STAINED WOOD OR PAINTED WOOD AT INTERIOR  
 2. **WINDOW AND DOOR HARDWARE:** Unlacquered Brass (Baldwin or Similar)  
 3. **ELECTRICAL:**  
 A. lighting fixtures: by owner  
 B. switch-plates and outlet plates: Unlacquered Brass, Push Button Switches and Traditional Duplexes (Rejuvenation or Similar)

- BEDROOM 2**  
 • FLOOR: THINSET TILE (\$50/SF)  
 • WALLS: CYPRESS WOOD PANELING  
 • CEILING: PAINT, BEN MOORE  
 • WINDOWS/DOORS: PAINTED, BEN MOORE  
 • MILLWORK:  
 1. cabinets: stain-grade oak  
 2. hardware: \$25/unit

- BATH 3**  
 • FLOOR: THINSET TILE (\$50/SF)  
 • WALLS: THINSET TILE (\$30/SF)  
 • CEILING: PAINTED, BEN MOORE  
 • WINDOWS/DOORS: PAINTED, BEN MOORE  
 • MILLWORK:  
 1. cabinets: stain-grade oak, finger joinery  
 2. countertop: natural stone, \$50/SF  
 3. hardware: \$25/unit  
 • PLUMBING:  
 1. sink: Kohler Canton Undermount sink  
 2. faucet: Newport Brass Cross Handle Faucet + Shower Trim  
 3. toilet: Waterworks Ote

- HALL**  
 • FLOOR: THINSET TILE (\$50/SF)  
 • WALLS: CYPRESS WOOD PANELING  
 • CEILING: PAINT, BEN MOORE  
 • DOORS: PAINTED, BEN MOORE

- BEDROOM 3**  
 • FLOOR: THINSET TILE (\$50/SF)  
 • WALLS: CYPRESS WOOD PANELING  
 • CEILING: PAINT, BEN MOORE  
 • WINDOWS/DOORS: PAINTED, BEN MOORE  
 • MILLWORK:  
 1. cabinets: stain-grade oak  
 2. hardware: \$25/unit



1 Level -0.5'  
 3/16" = 1'-0"

DATE	ISSUE

SCALE: 3/16" = 1'-0"
DATE: 12.13.2023
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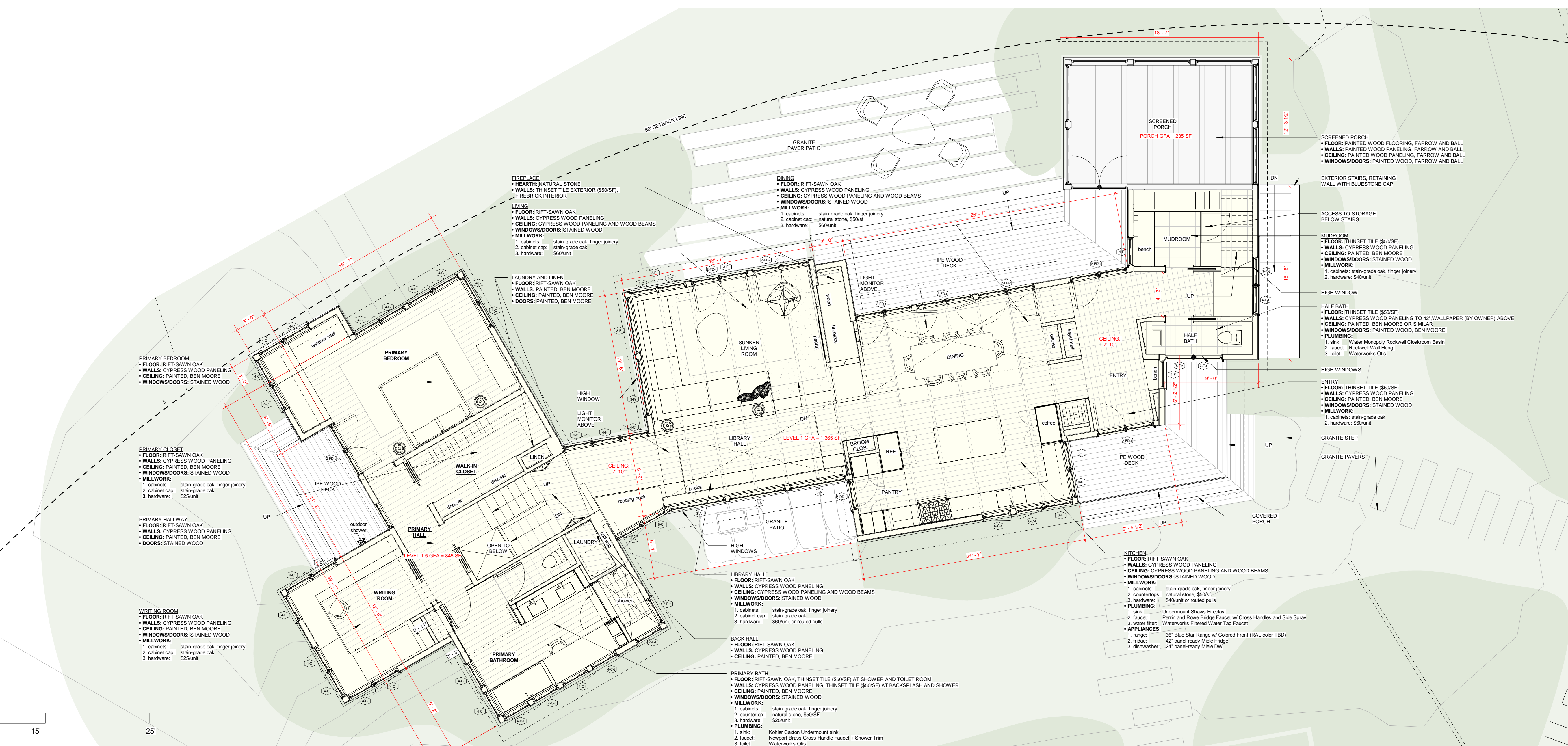
Odenborg - Stupnitsky Residence  
 26 Chappaquiddick Ave, West Tisbury MA 02568  
 Main House\_Basement & Level 0.5 Floor Plans

**A1.0**

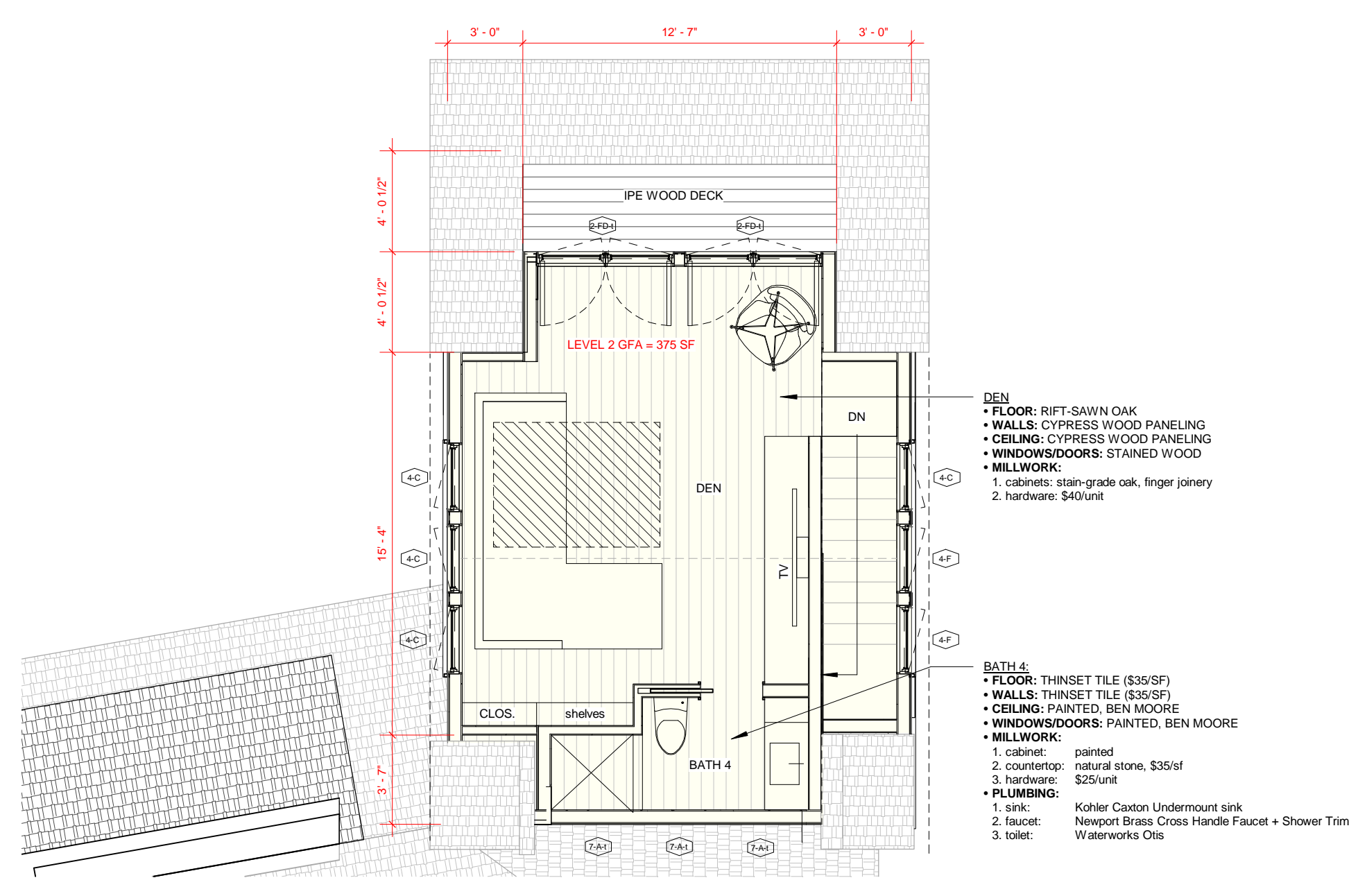


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1 Main House - First Floor Plan  
3/16" = 1'-0"



3 Main House Level 2 Floor Plan  
3/16" = 1'-0"



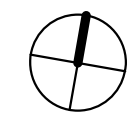
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DATE: 12.13.2023	
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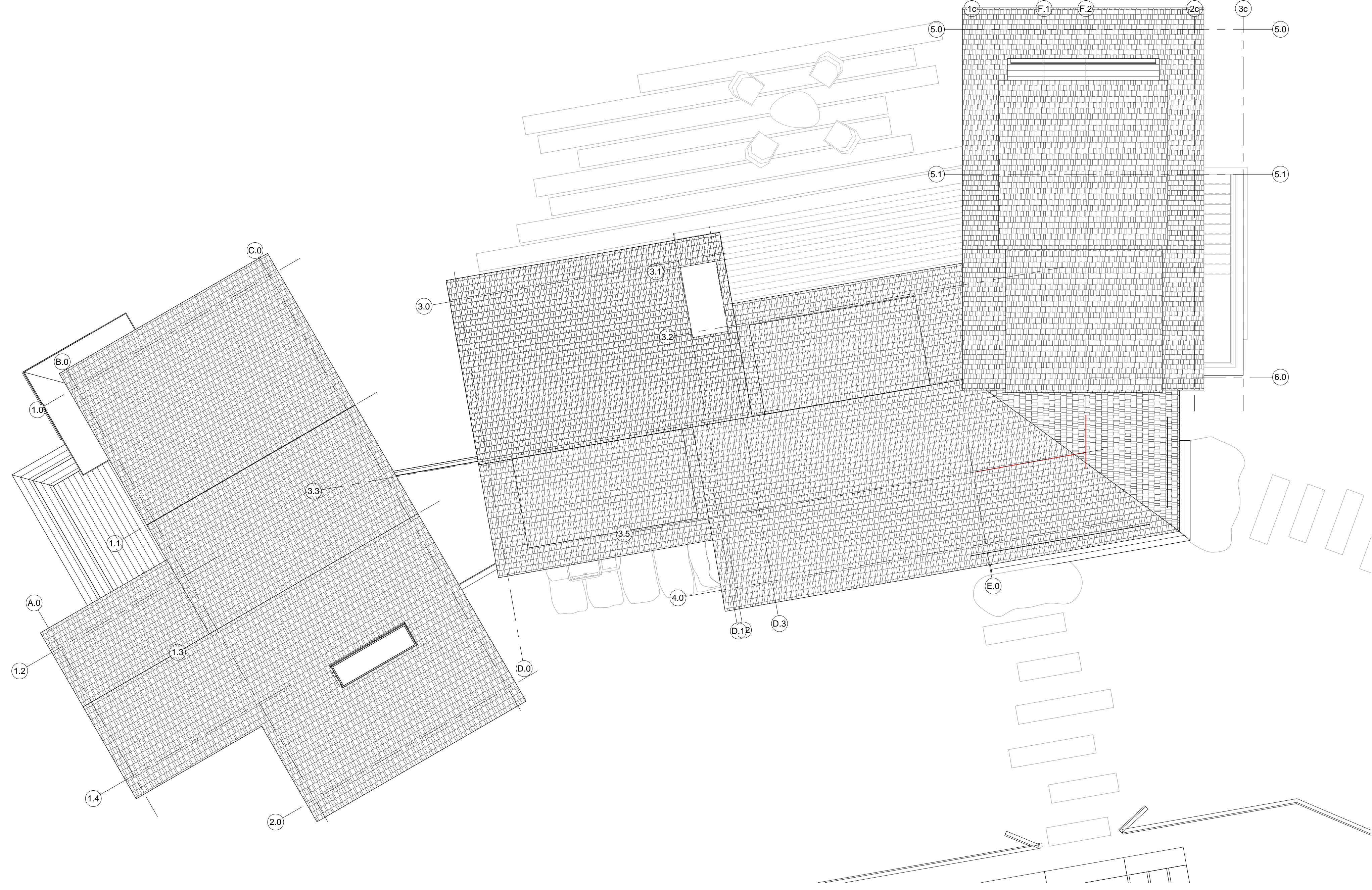
Odenberg - Stupnitsky Residence  
 26 Chappaquiddick Ave., West Tisbury MA 02568  
 Main House\_Level 1, 1.5, & 2 Floor Plans

A1.1



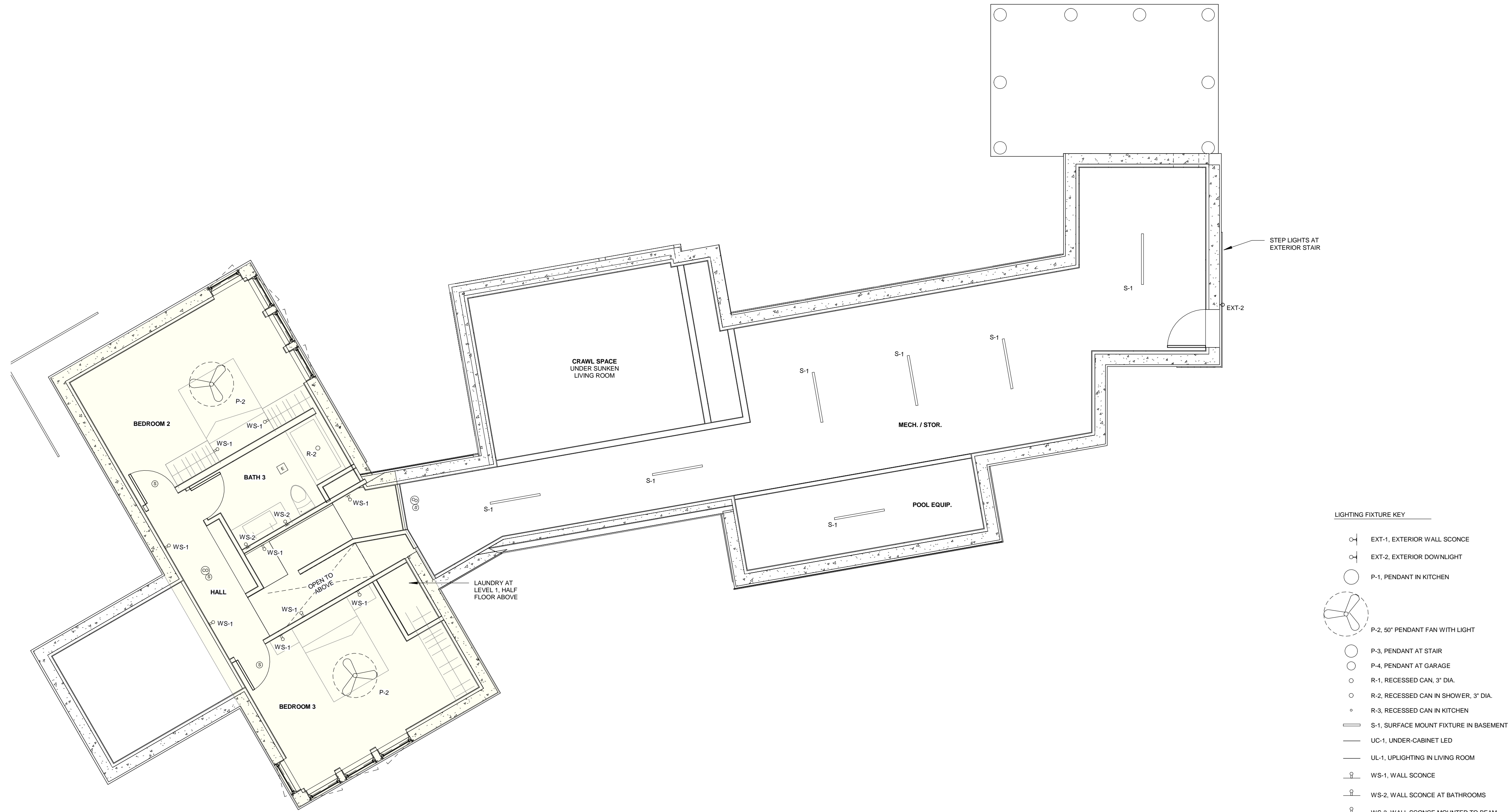


1 Roof Plan  
3/16" = 1'-0"



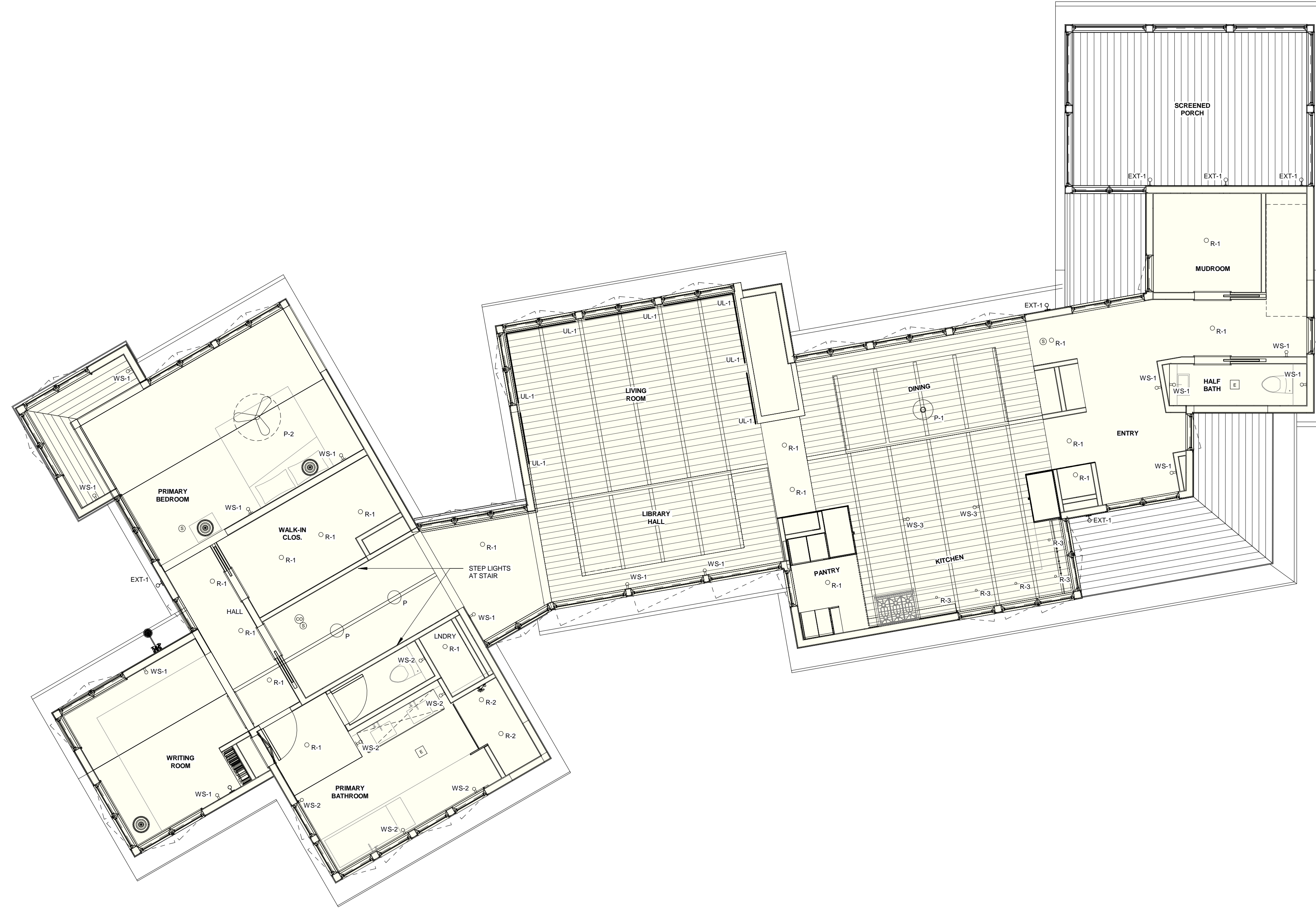


1 Main House - Basement RCP  
3/16" = 1'-0"

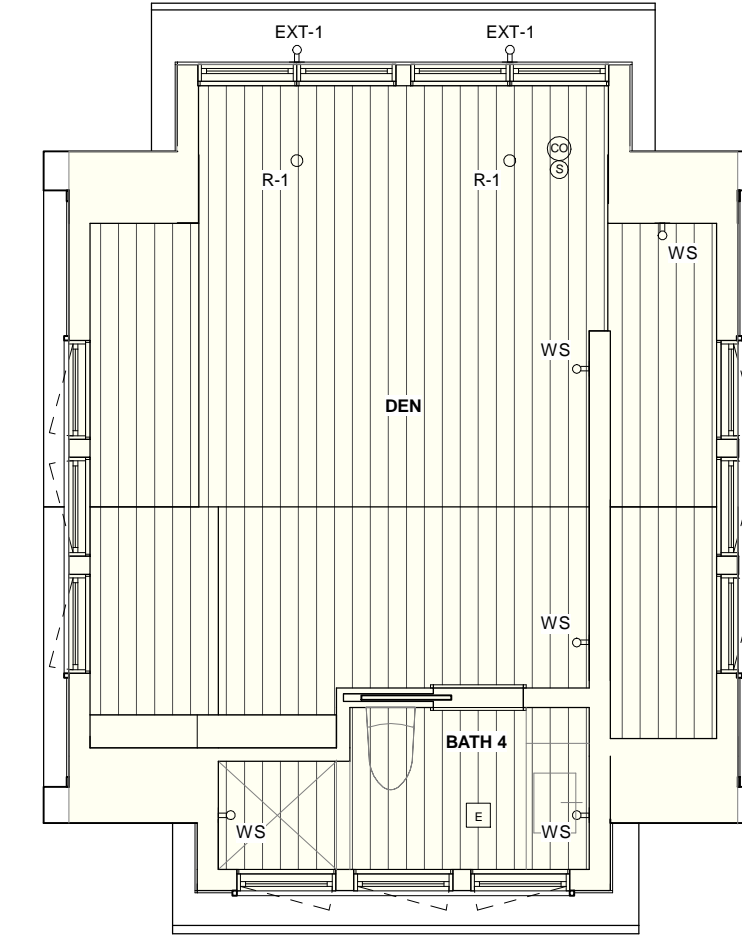




① Main House - First Floor RCP  
3/16" = 1'-0"



② Main House - Second Floor RCP  
3/16" = 1'-0"



- LIGHTING FIXTURE KEY
- EXT-1, EXTERIOR WALL SCONCE
  - EXT-2, EXTERIOR DOWNLIGHT
  - P-1, PENDANT IN KITCHEN
  - P-2, 60" PENDANT FAN WITH LIGHT
  - P-3, PENDANT AT STAIR
  - P-4, PENDANT AT GARAGE
  - R-1, RECESSED CAN, 3" DIA.
  - R-2, RECESSED CAN IN SHOWER, 3" DIA.
  - R-3, RECESSED CAN IN KITCHEN
  - S-1, SURFACE MOUNT FIXTURE IN BASEMENT
  - UC-1, UNDER-CABINET LED
  - UL-1, UPLIGHTING IN LIVING ROOM
  - WS-1, WALL SCONCE
  - WS-2, WALL SCONCE AT BATHROOMS
  - WS-3, WALL SCONCE MOUNTED TO BEAM
  - ☒ EXHAUST FAN
  - ⊕ SMOKE DETECTOR
  - ⊕ CARBON MONOXIDE DETECTOR
  - ⊕ HEAT DETECTOR IN GARAGE

Odenberg - Stupnitsky Residence  
26 Chappaquiddick Ave, West Tisbury MA 02568  
Main House\_Level 1, 1.5 & 2 RCPs

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SCALE: 3/16" = 1'-0"	DATE	ISSUE
DATE: 12.13.2023		
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A1.4



**GENERAL NOTES**

- EXTERIOR:**
- ROOF:**
  - 1. MAIN ROOF: ALASKAN CEDAR SHINGLES
  - 2. ROOF AT LIGHT MONITORS (LOW SLOPE): FLAT SEAM METAL
- SIDING:**
  - 1. PRIMARY: ALASKAN CEDAR SHINGLES, TO WEATHER NATURALLY
  - 2. SECONDARY: VERTICAL ALASKAN CEDAR BOARDS, TO WEATHER NATURALLY
- WINDOWS AND DOORS:** MARVIN SIGNATURE ULTIMATE, STAINED WOOD OR PAINTED WOOD AT INTERIOR
- WINDOW AND DOOR HARDWARE:** Unbranded Brass (Ballwin or Similar)



① Exterior Elevation\_North @ Living Wing  
3/16" = 1'-0"



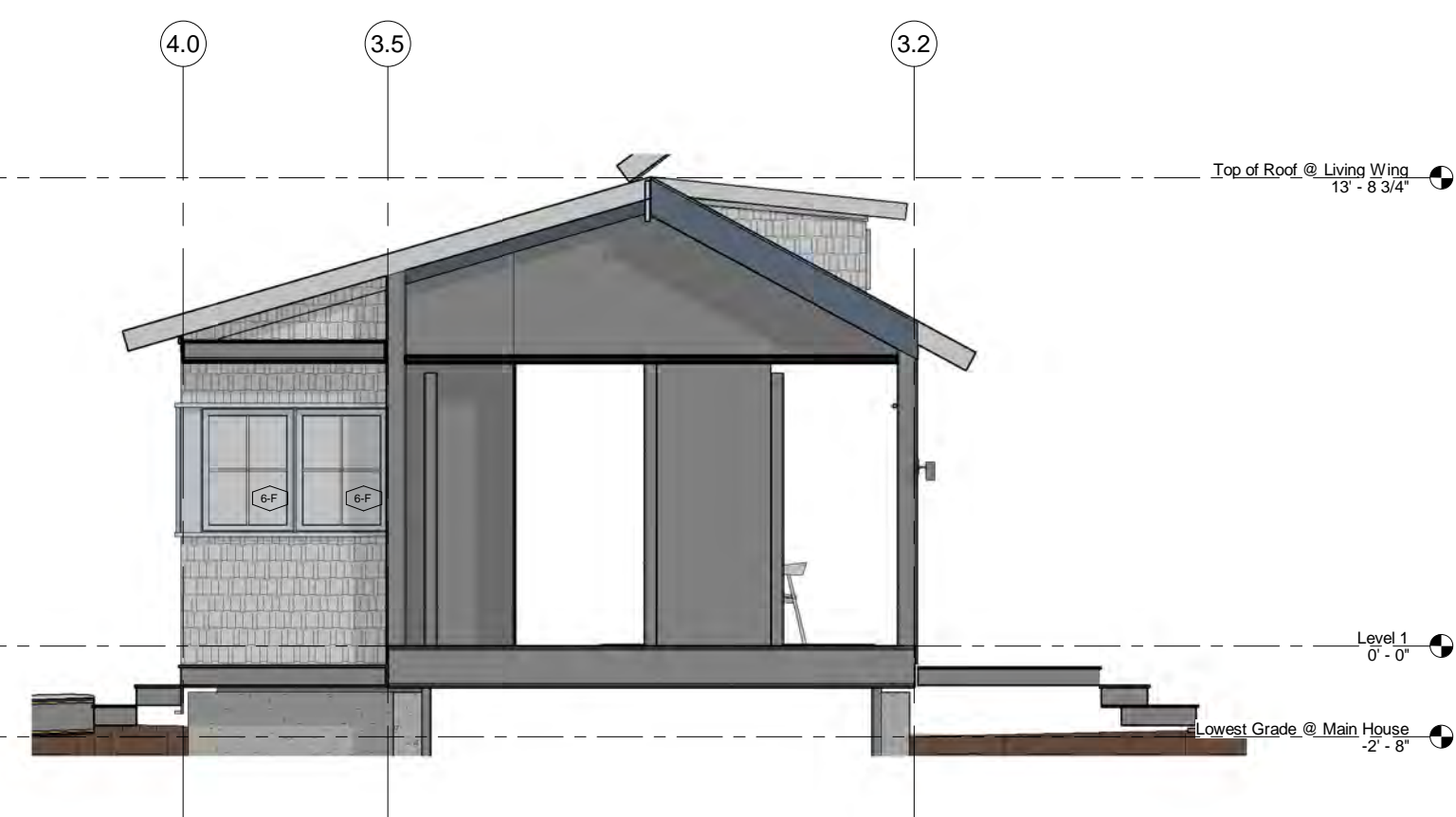
② Exterior Elevation\_North @ Entry Wing  
3/16" = 1'-0"



③ Exterior Elevation\_North @ Bdrm Wing  
3/16" = 1'-0"



④ Exterior Elevation\_East @ Entry Wing  
3/16" = 1'-0"



⑤ Exterior Elevation\_East @ Living Wing  
3/16" = 1'-0"



⑥ Exterior Elevation\_East @ Bdrm Wing  
3/16" = 1'-0"

ISSUE
DATE

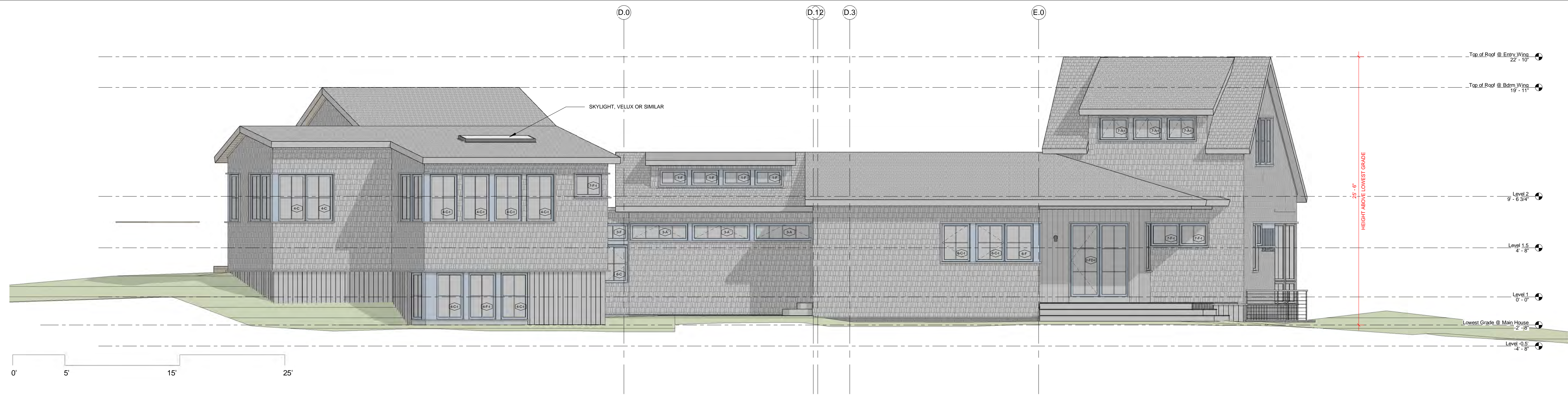
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DATE: 12.13.2023
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Odenberg - Stupnitsky Residence  
 26 Chappaquiddick Ave, West Tisbury MA 02568  
 Exterior Elevations\_North & East

**A2.0**





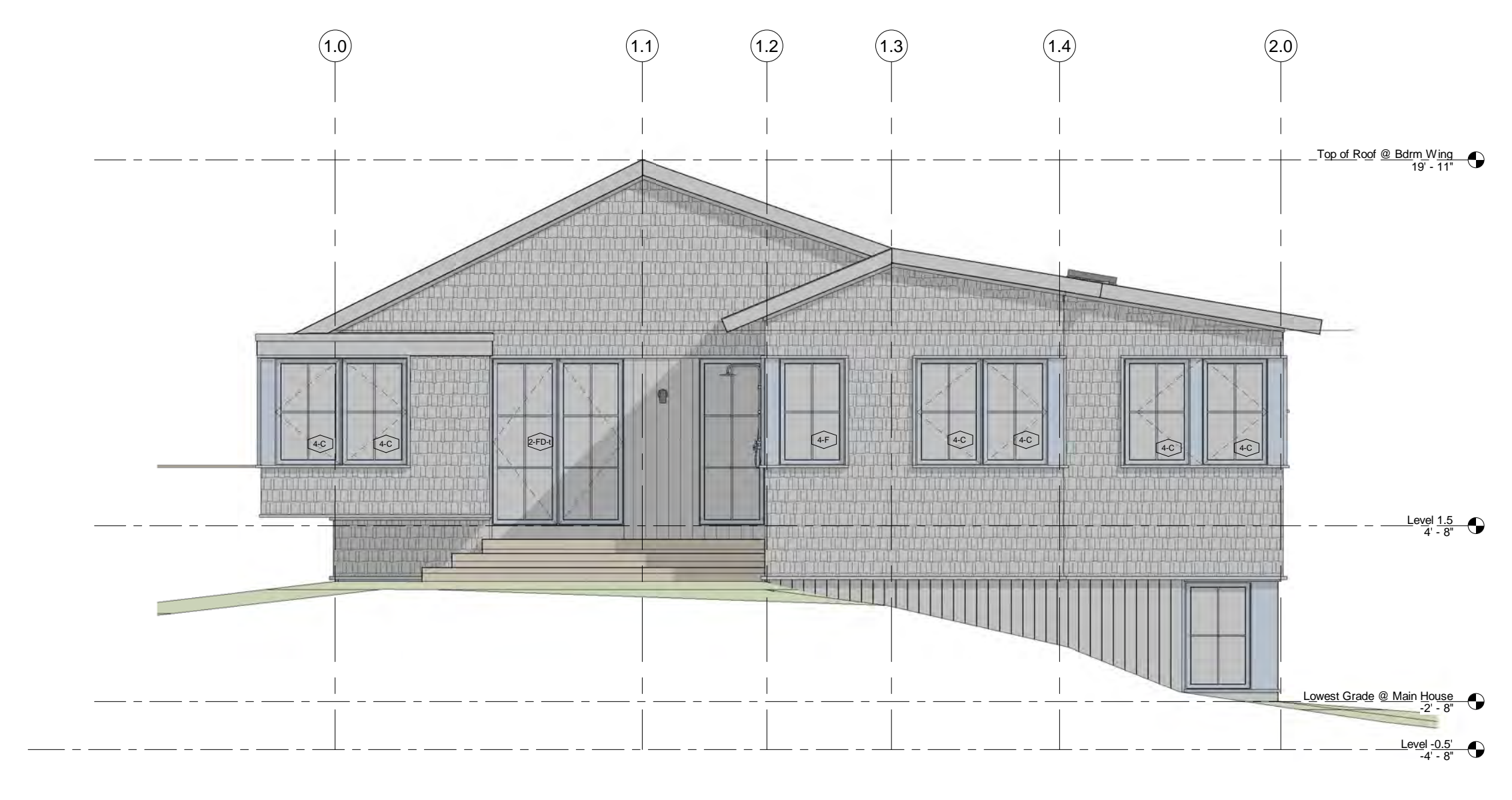
1 Exterior Elevation\_South @ Living Wing  
3/16" = 1'-0"



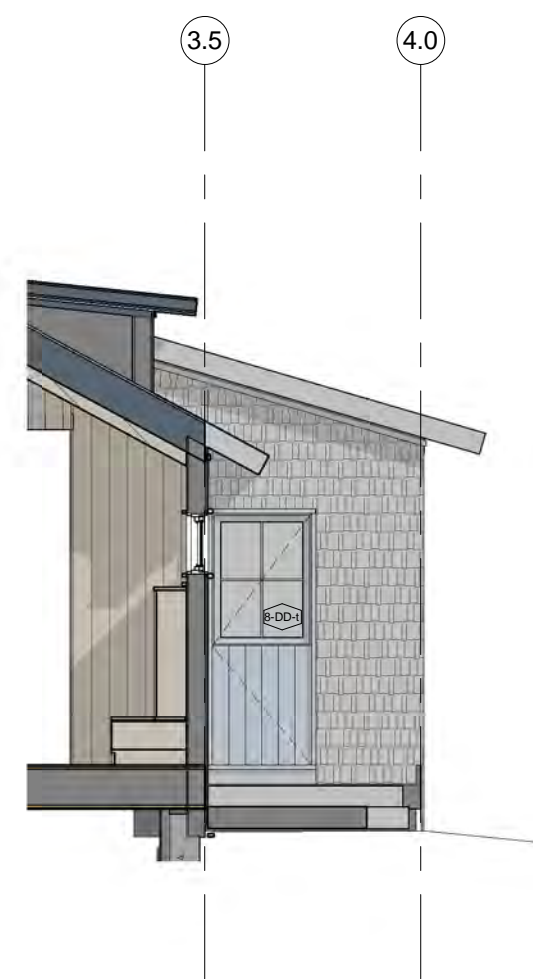
2 Exterior Elevation\_South @ Bdrm Wing  
3/16" = 1'-0"



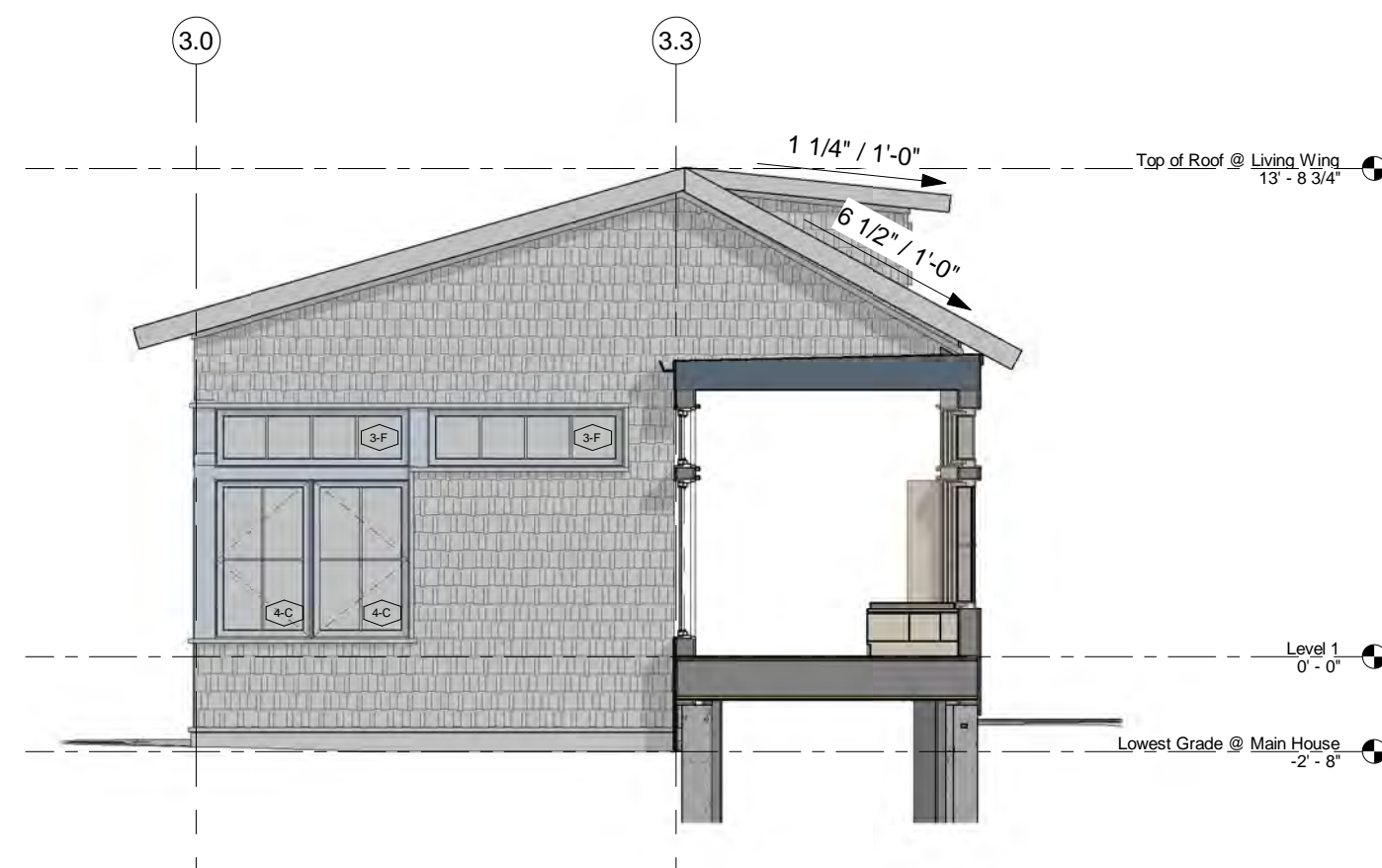
3 Exterior Elevation\_South @ Entry Wing  
3/16" = 1'-0"



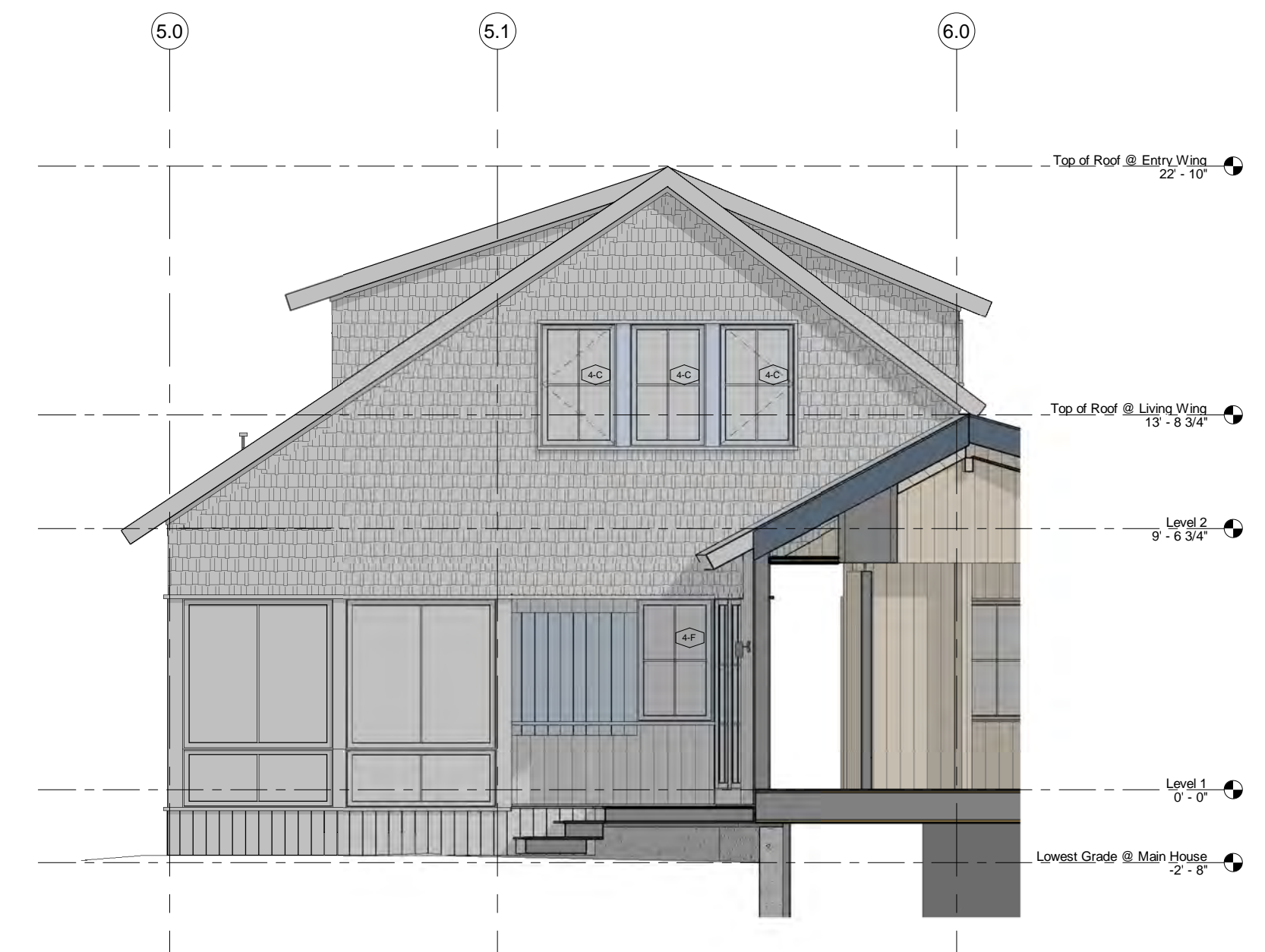
4 Exterior Elevation\_West @ Bdrm Wing  
3/16" = 1'-0"



5 Exterior Elevation\_West @ Dutch Door  
3/16" = 1'-0"



6 Exterior Elevation\_West @ Living Wing  
3/16" = 1'-0"



7 Exterior Elevation\_West @ Entry Wing  
3/16" = 1'-0"

ISSUE

DATE

SCALE: 3/16" = 1'-0"

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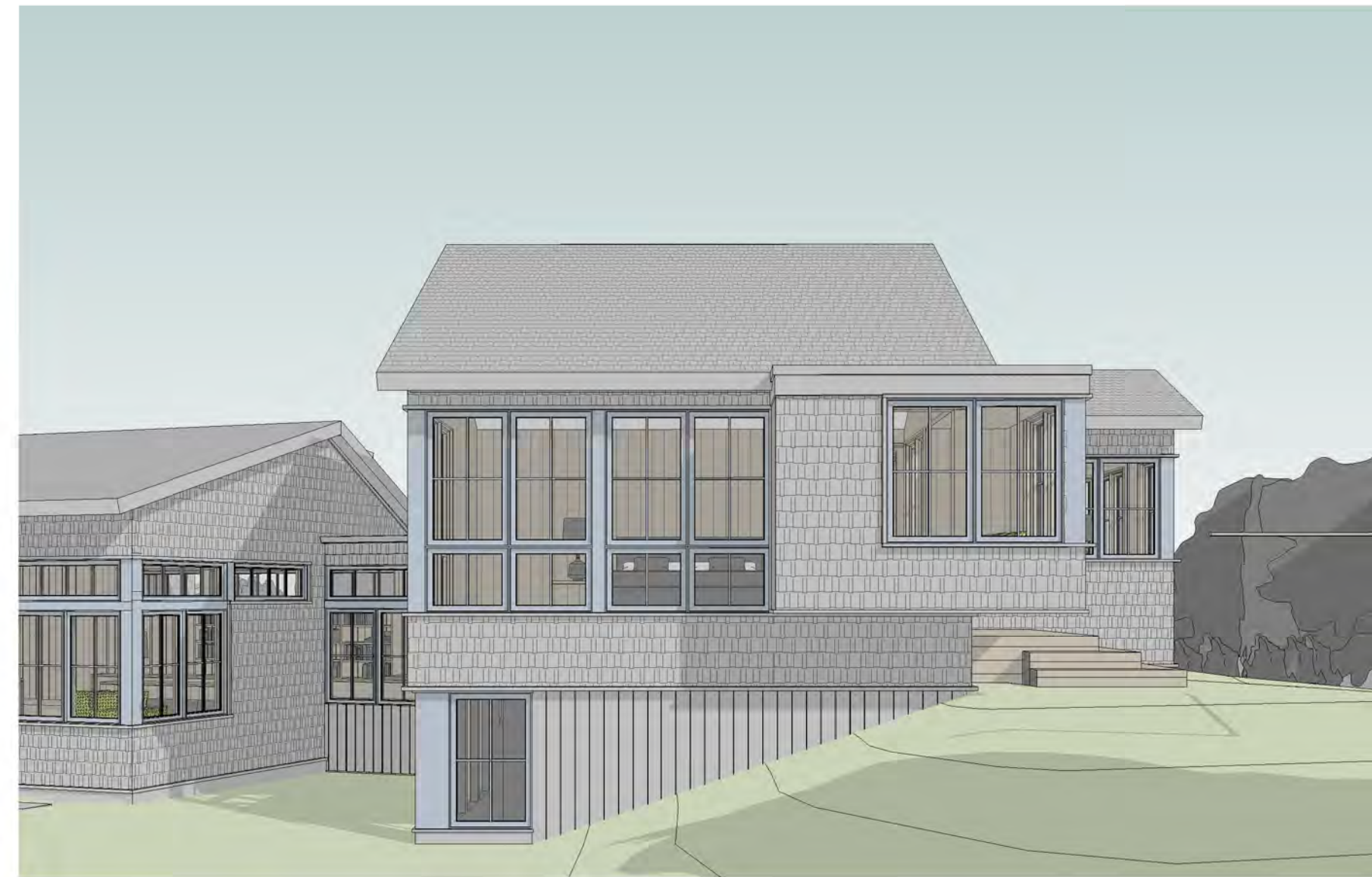
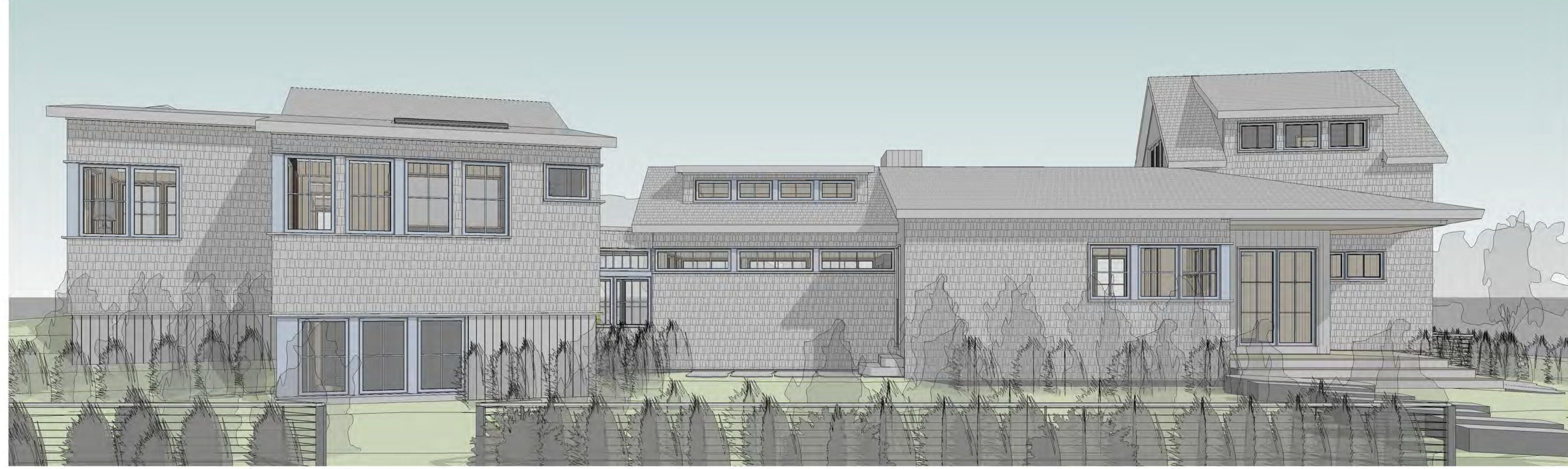
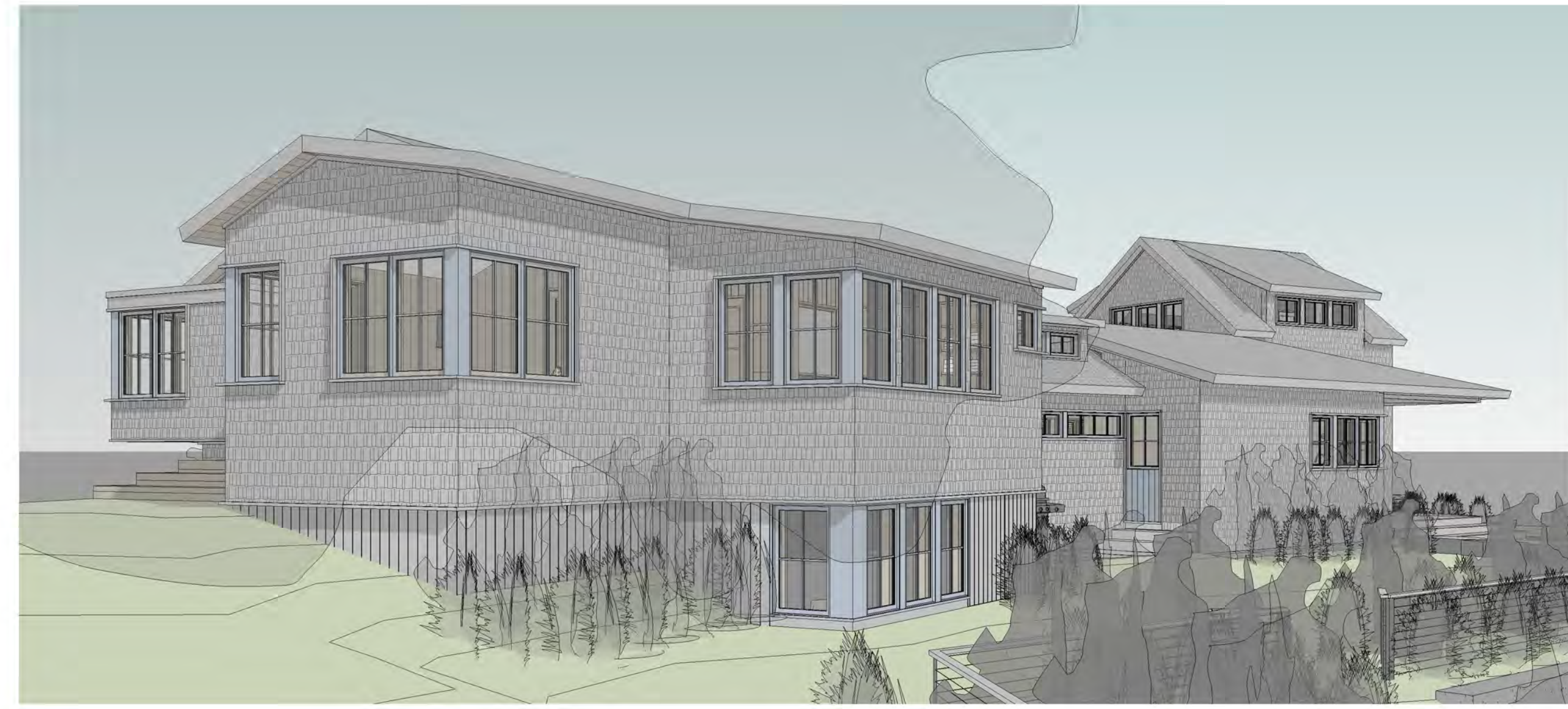
Odenberg - Stupnitsky Residence

26 Chappaquiddick Ave, West Tisbury MA 02568

Exterior Elevations\_South & West

A2.1





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DATE

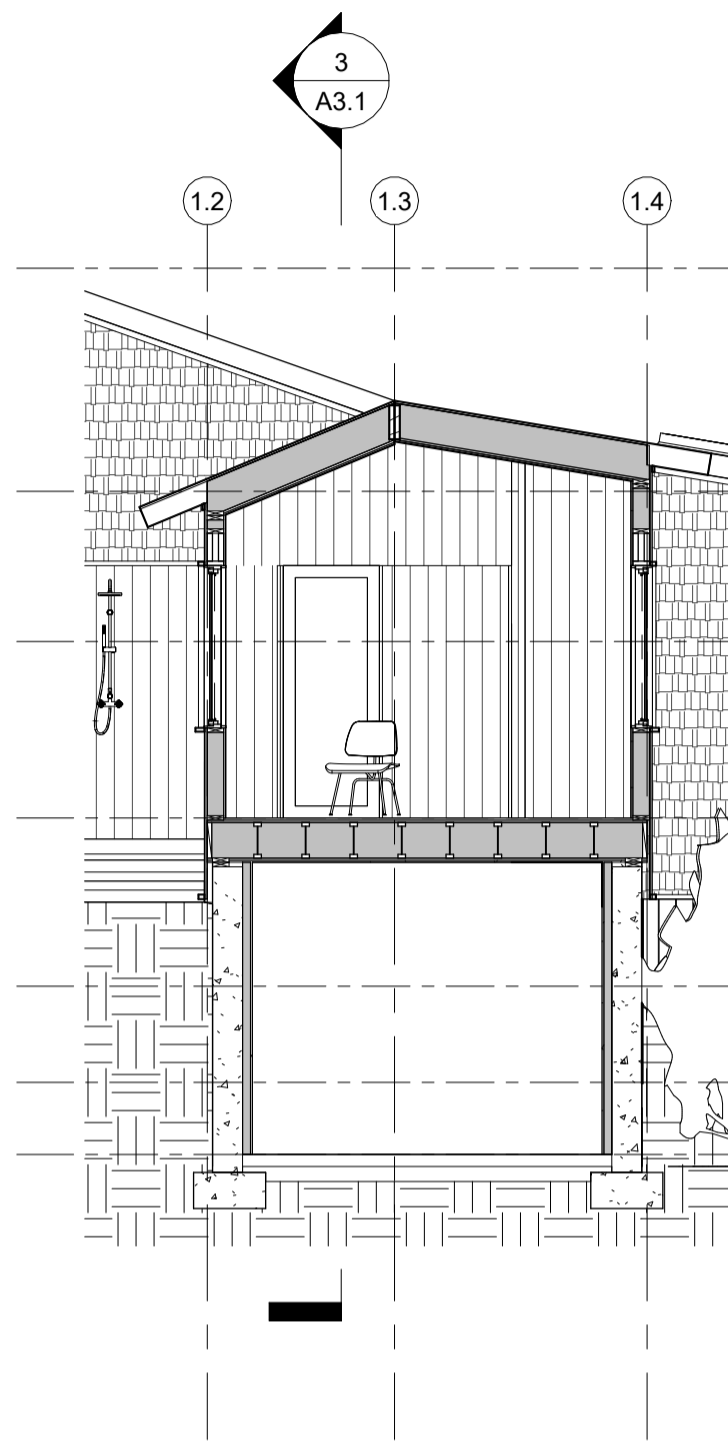
SCALE:	DATE: 12.13.2023	DRAWN BY: MLA
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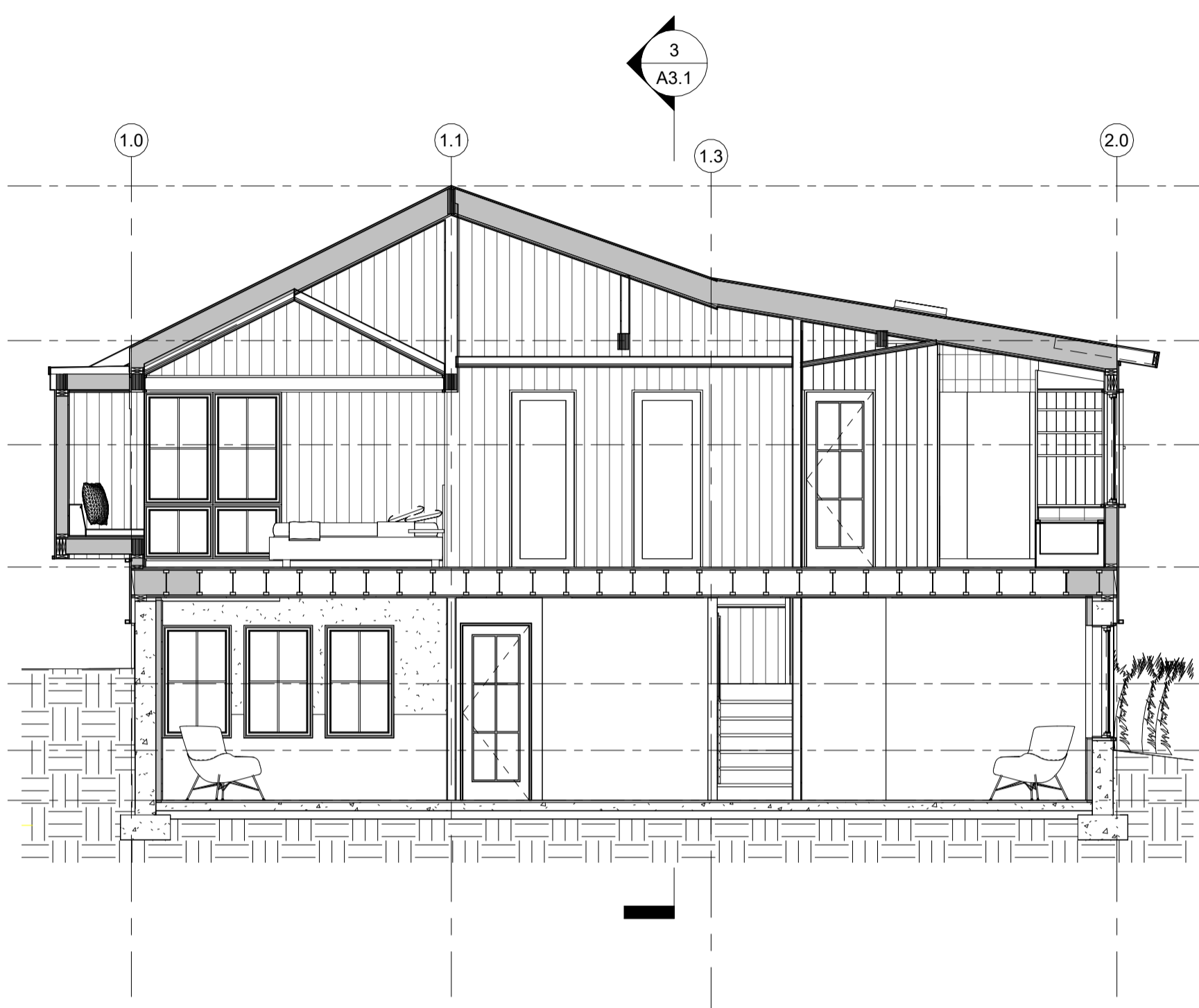
Odenborg - Stupnitsky Residence  
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 Exterior 3D Views\_Main House

A2.2

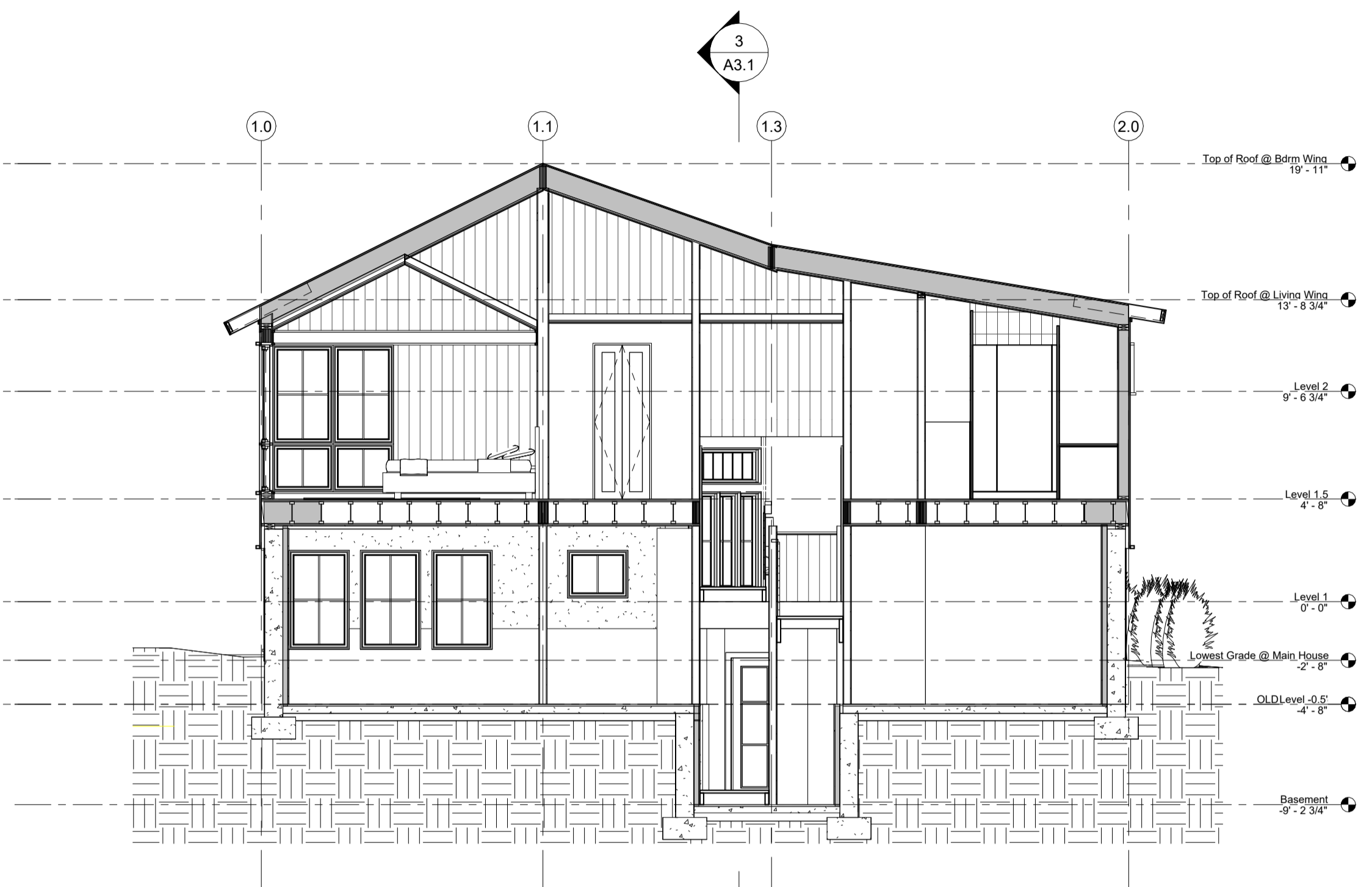




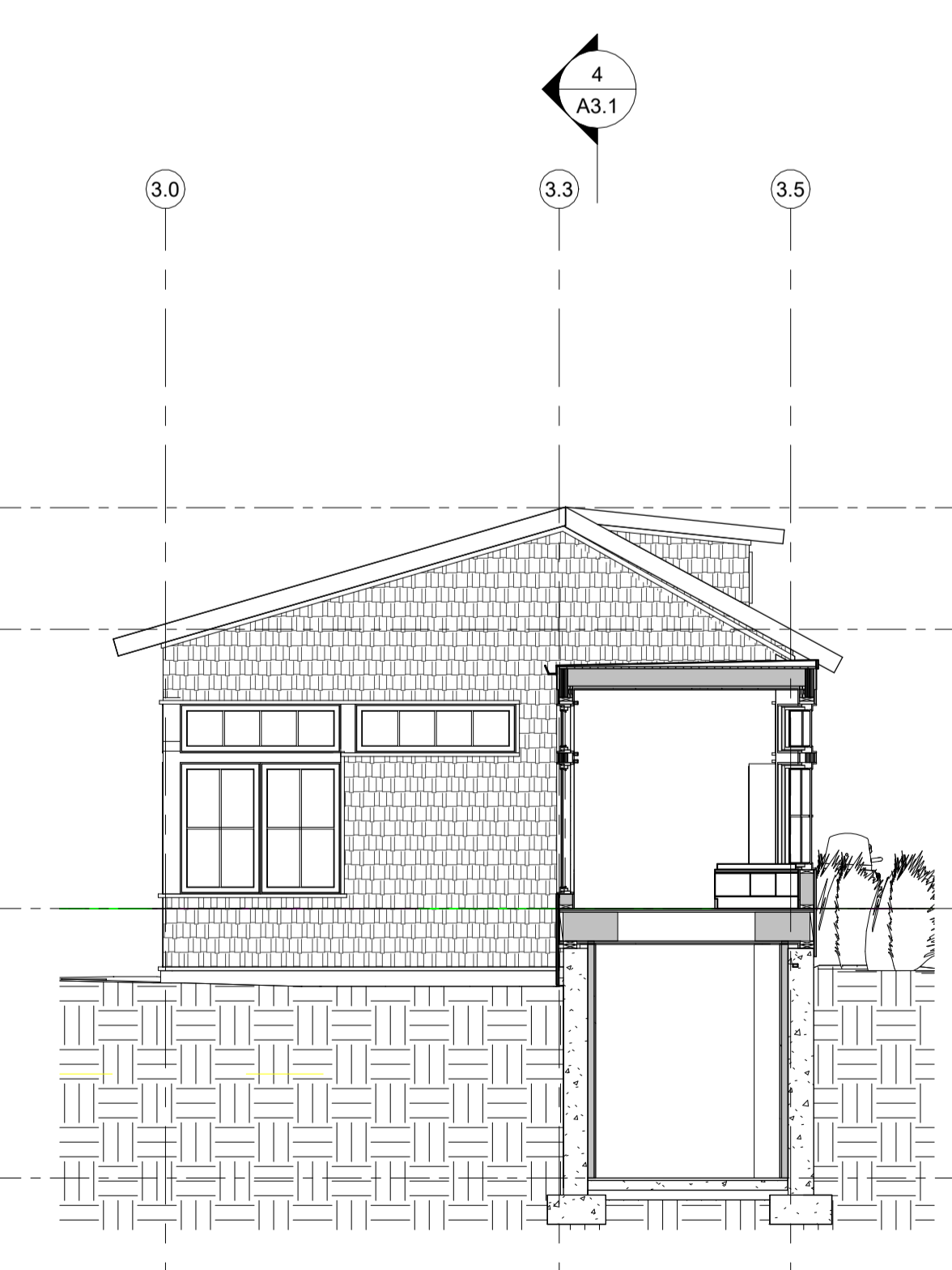
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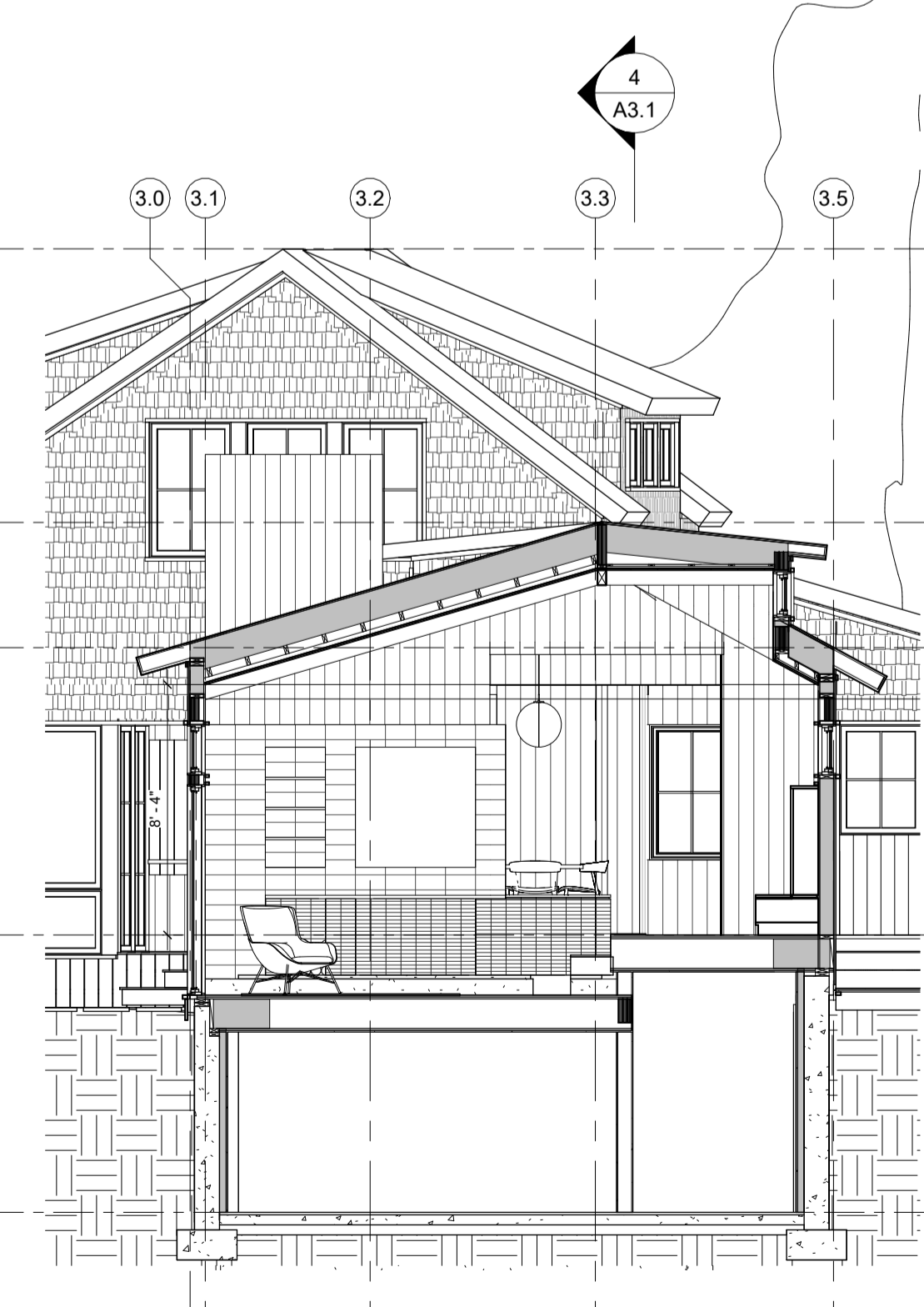
2 Transverse Section B  
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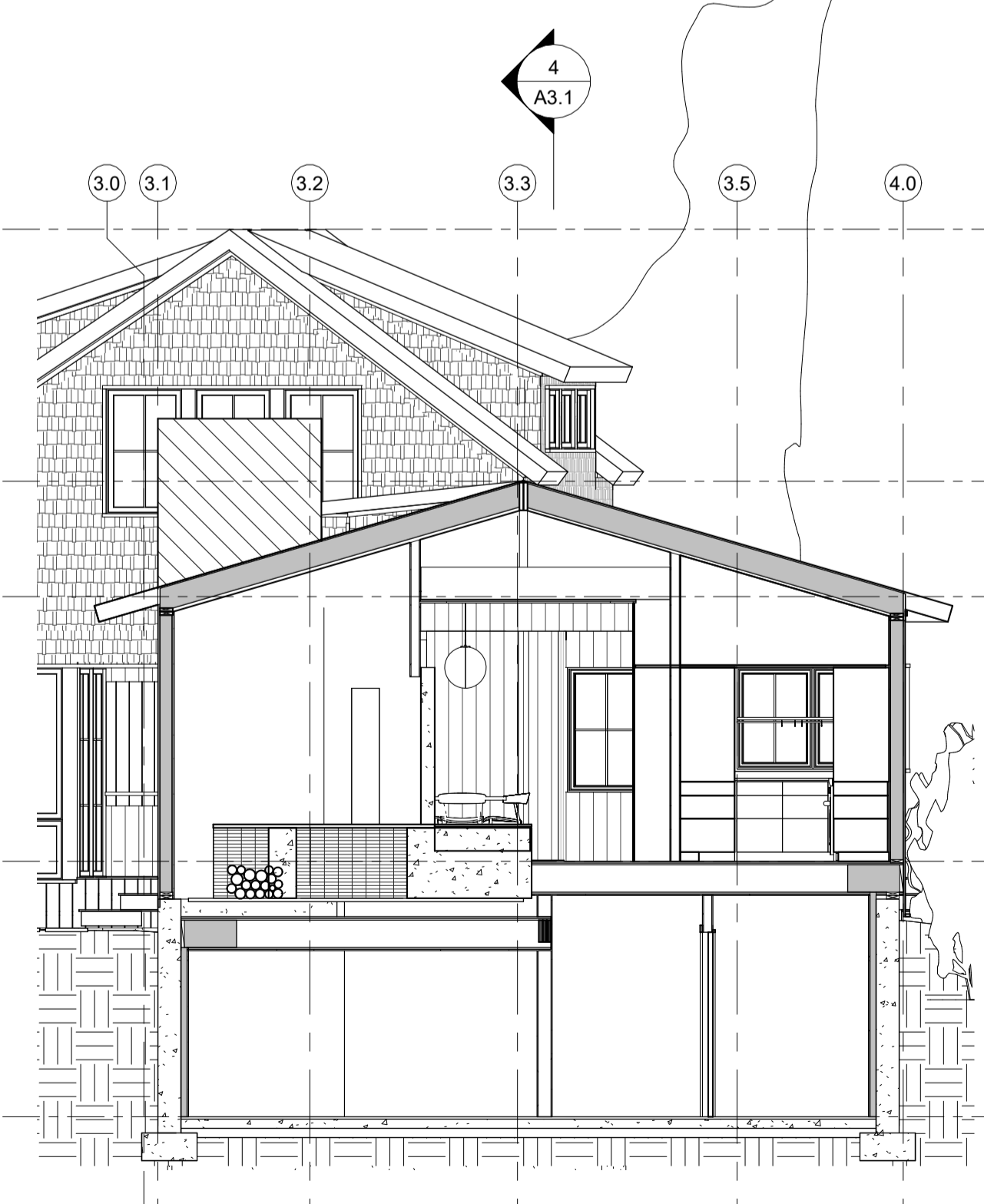
3 Transverse Section C  
3/16" = 1'-0"



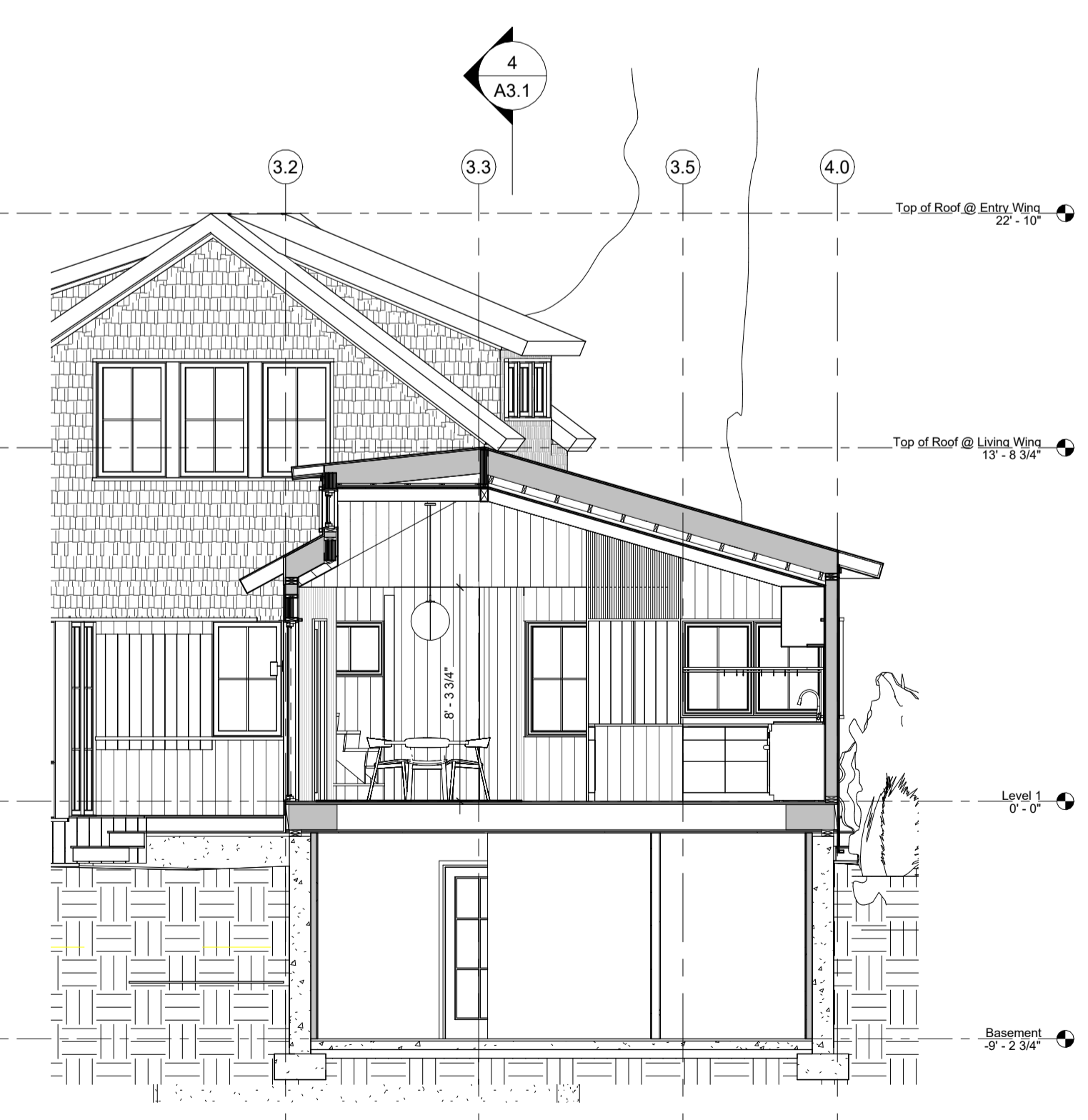
4 Transverse Section D  
3/16" = 1'-0"



5 Transverse Section E  
3/16" = 1'-0"



6 Transverse Section F  
3/16" = 1'-0"



7 Transverse Section G  
3/16" = 1'-0"

C:\Users\c\Desktop\26 chappaquidick\REVIT\2023\_11\_02\_26 chappaquidick\_CC.rvt  
12/13/2023 10:18:10 AM

ISSUE
DATE

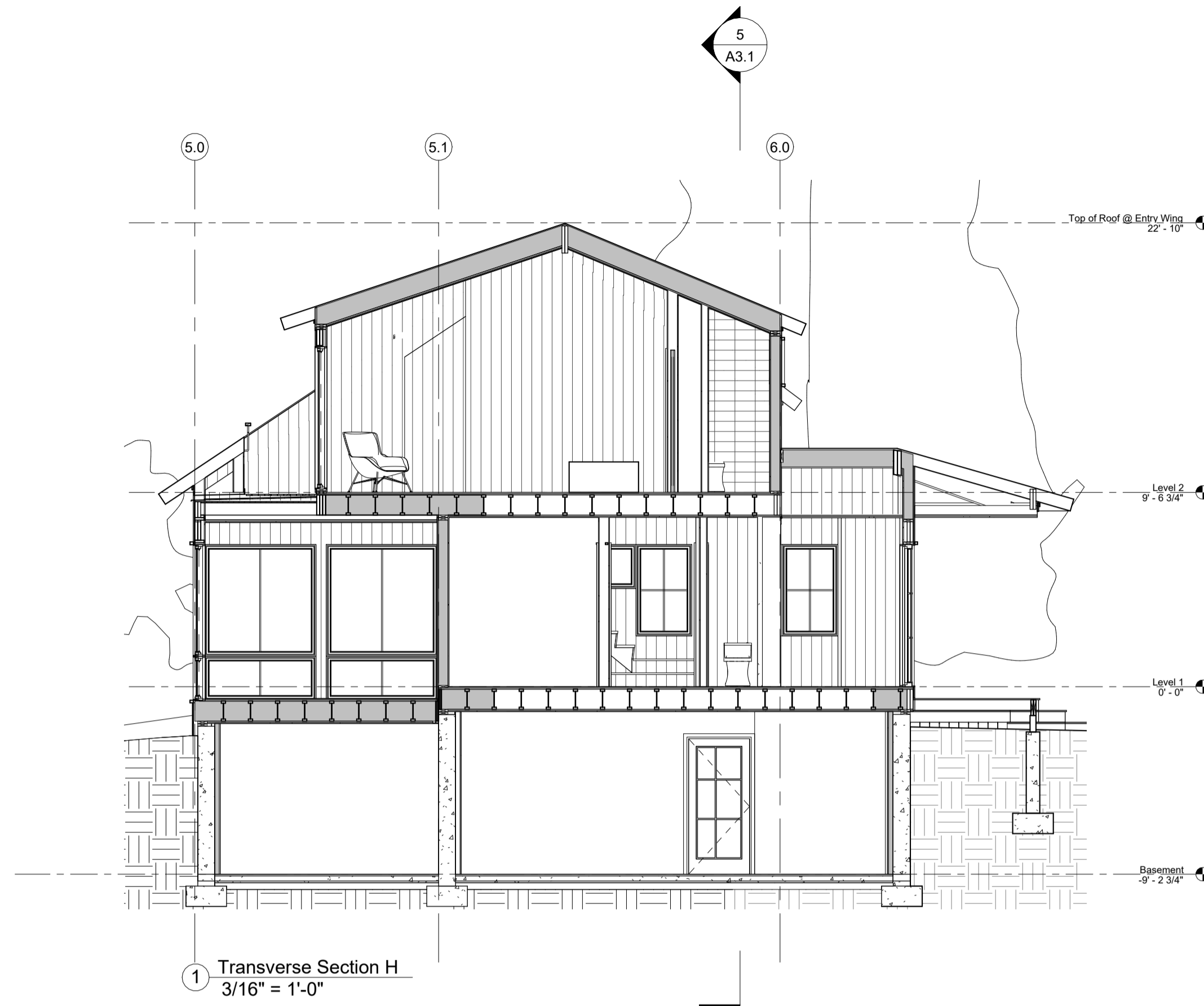
SCALE: 3/16" = 1'-0"
DATE: 12.13.2023
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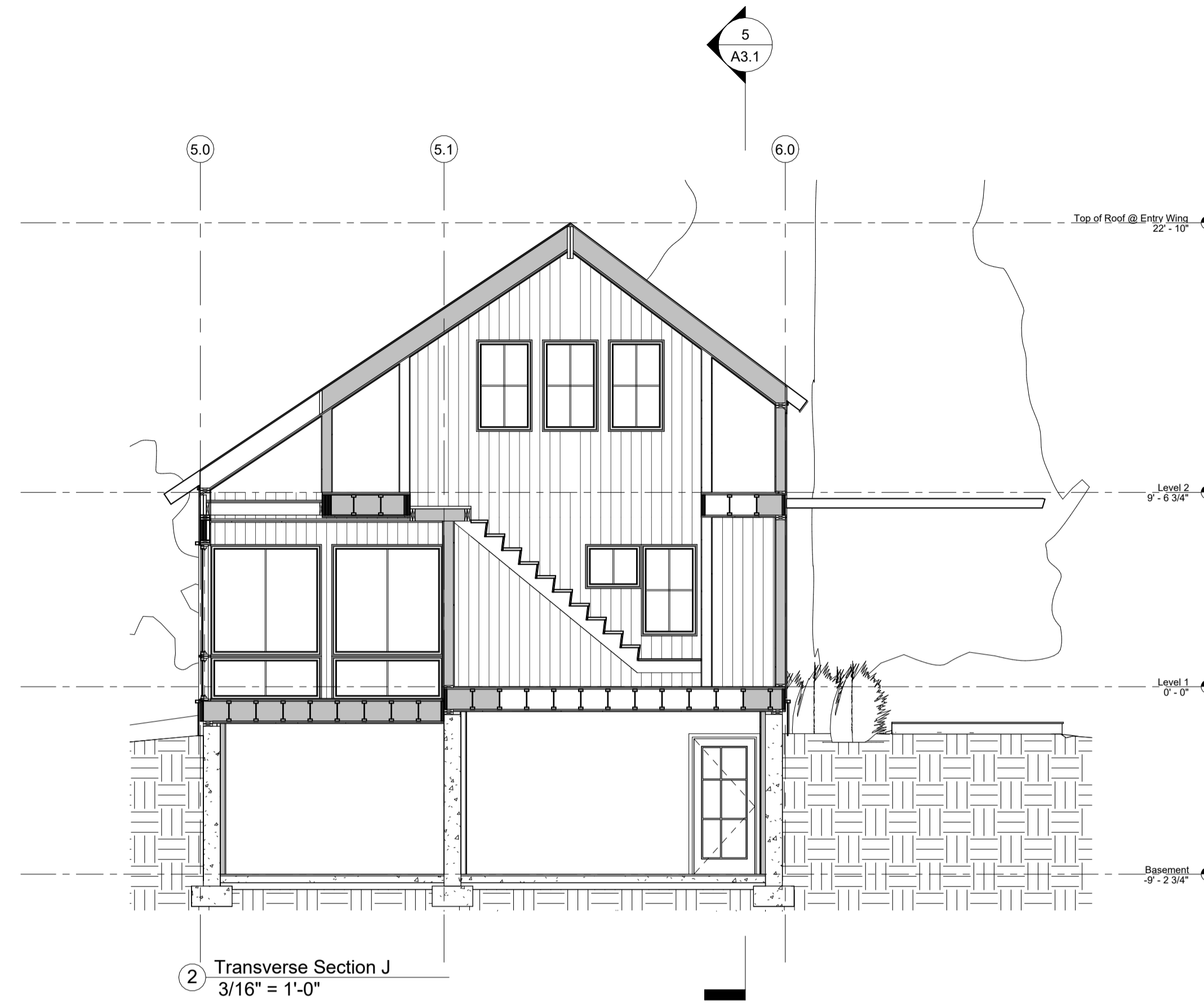
Odenberg - Stupnitsky Residence  
26 Chappaquidick Ave., West Tisbury MA 02568  
Sections

A3.0

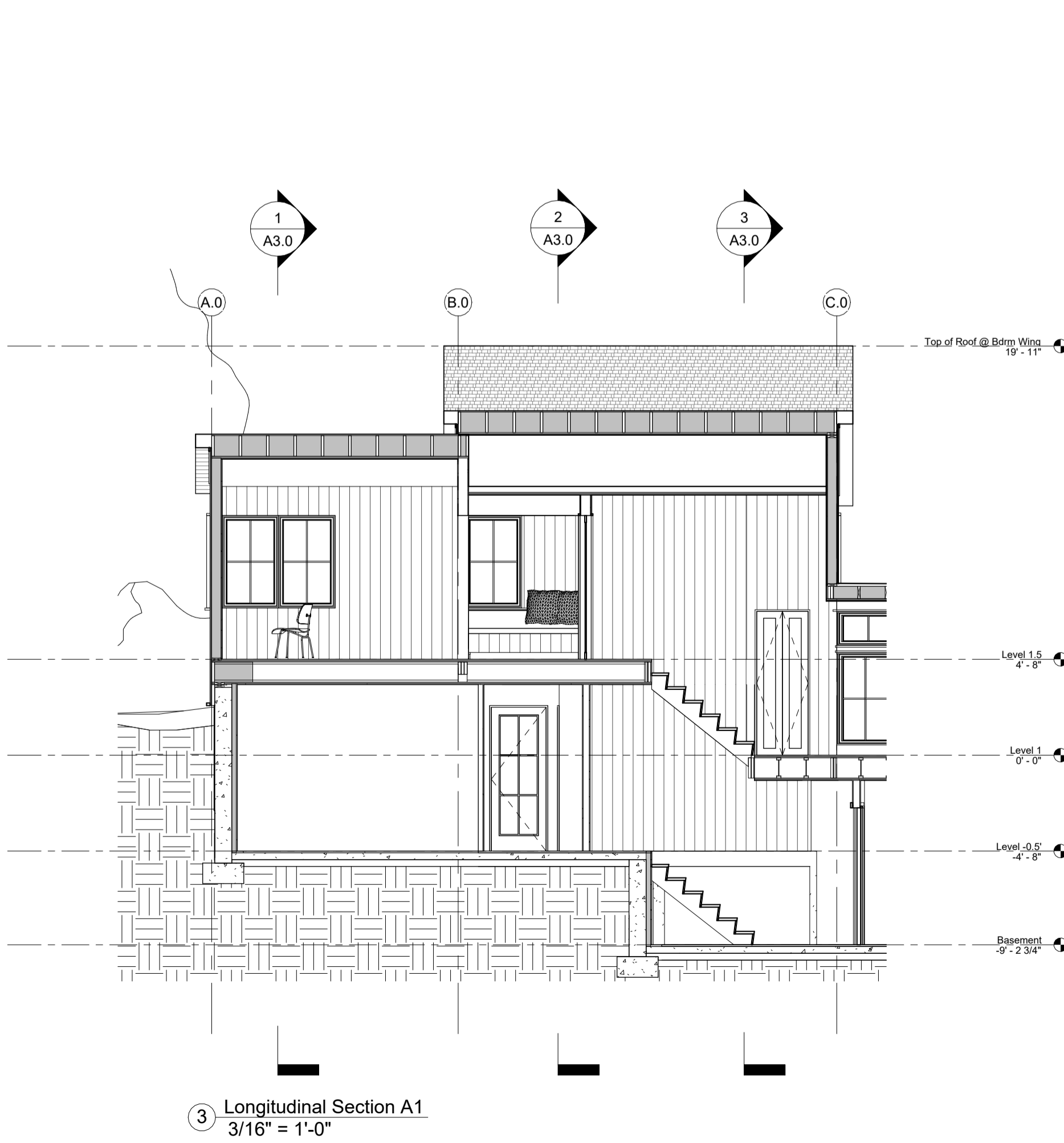




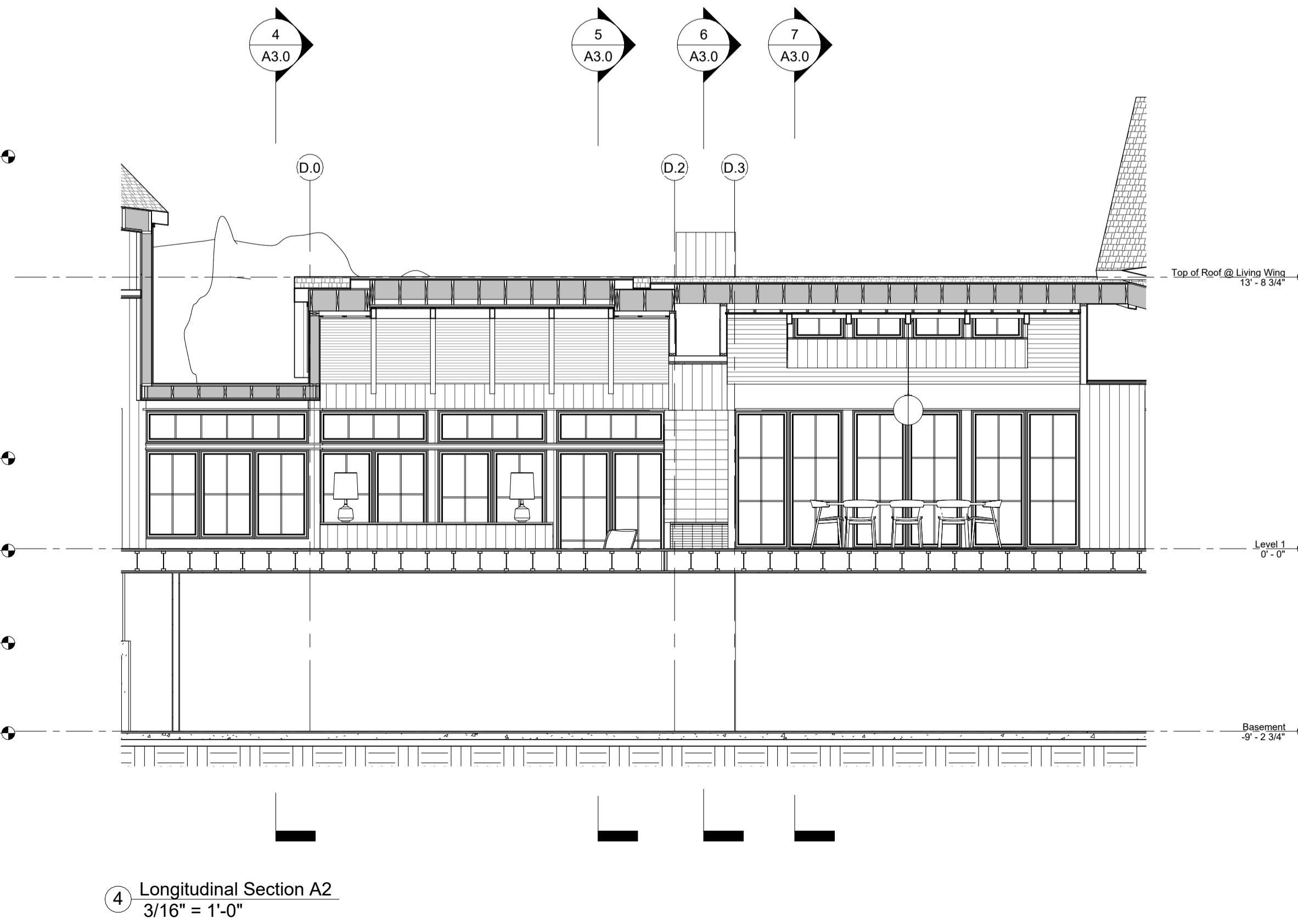
1 Transverse Section H  
3/16" = 1'-0"



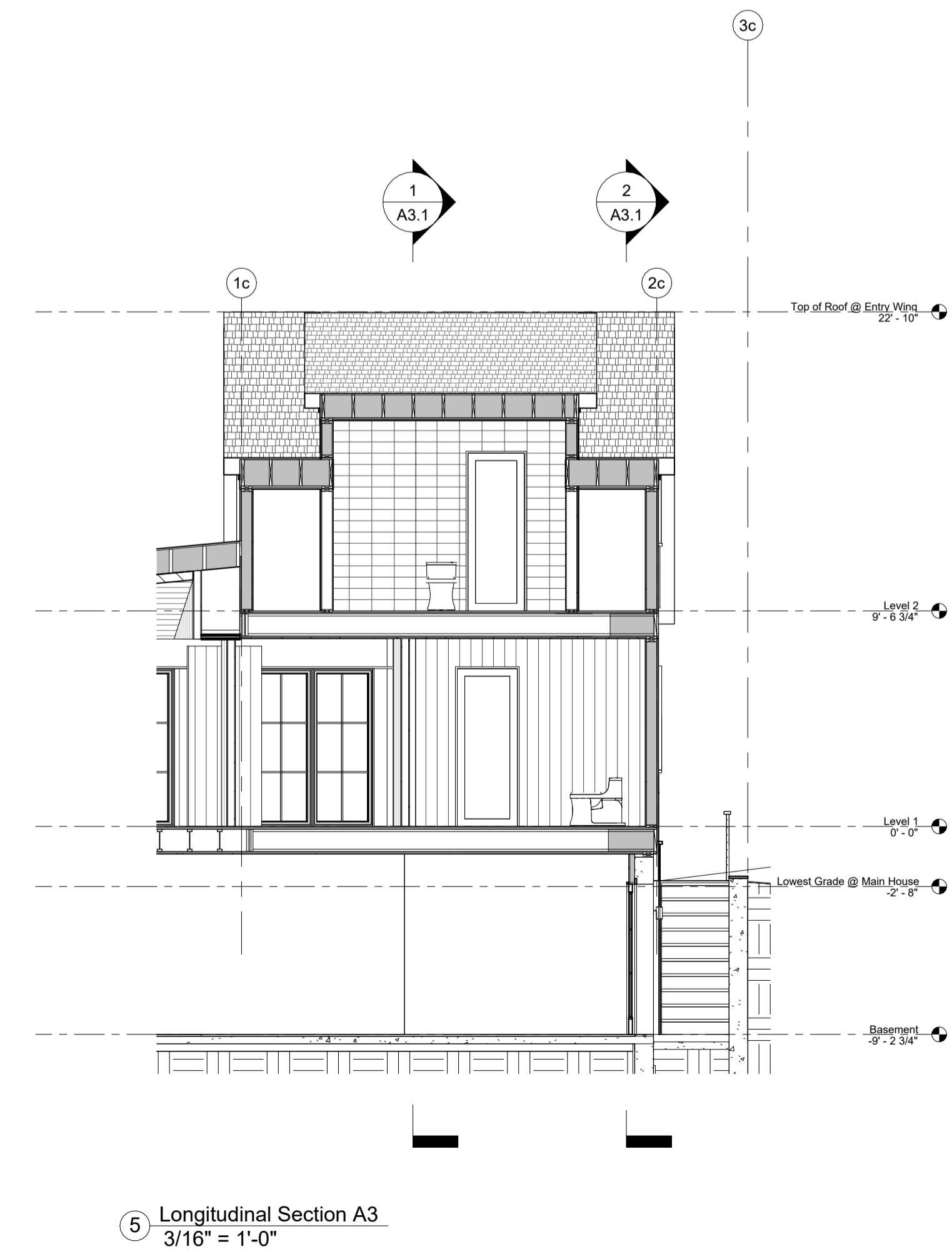
2 Transverse Section J  
3/16" = 1'-0"



3 Longitudinal Section A1  
3/16" = 1'-0"



4 Longitudinal Section A2  
3/16" = 1'-0"



5 Longitudinal Section A3  
3/16" = 1'-0"

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SCALE: 3/16" = 1'-0"

DATE: 12.13.2023

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Odenberg - Stupnitsky Residence

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Sections

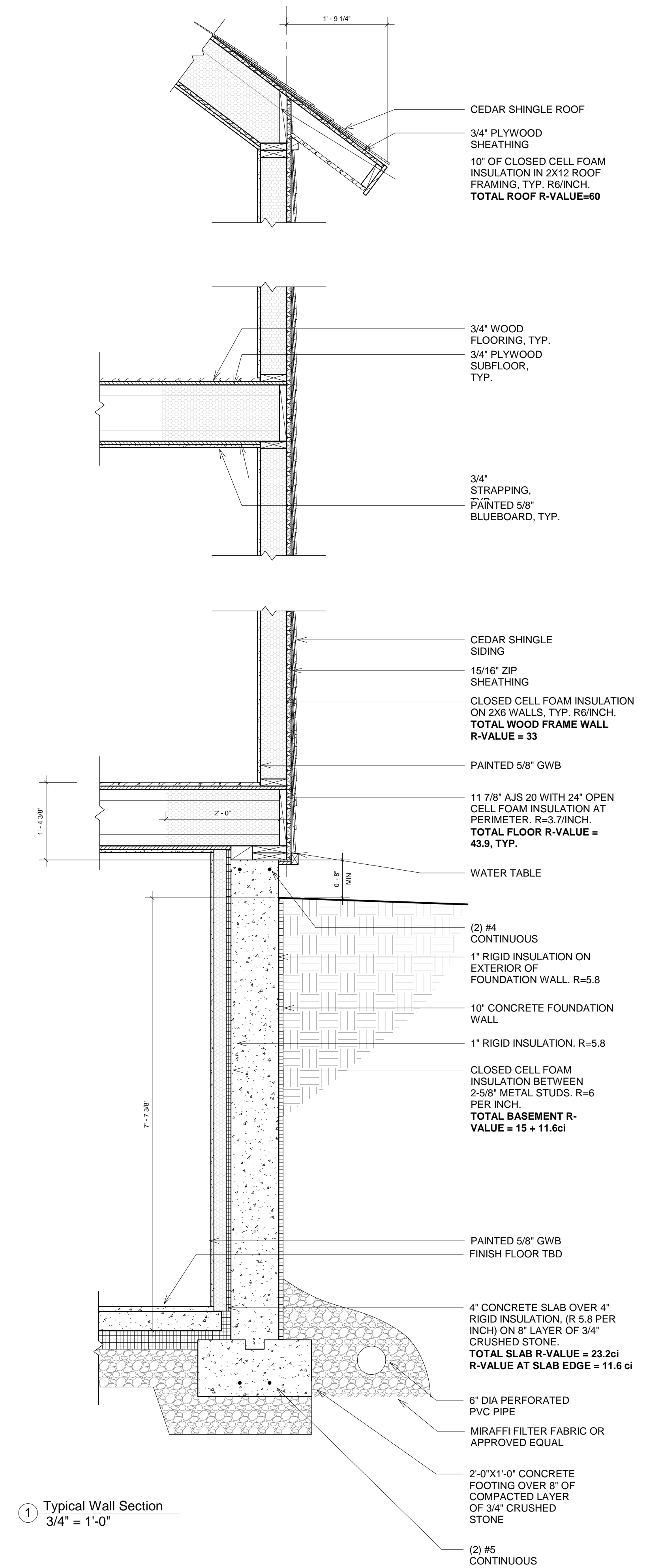
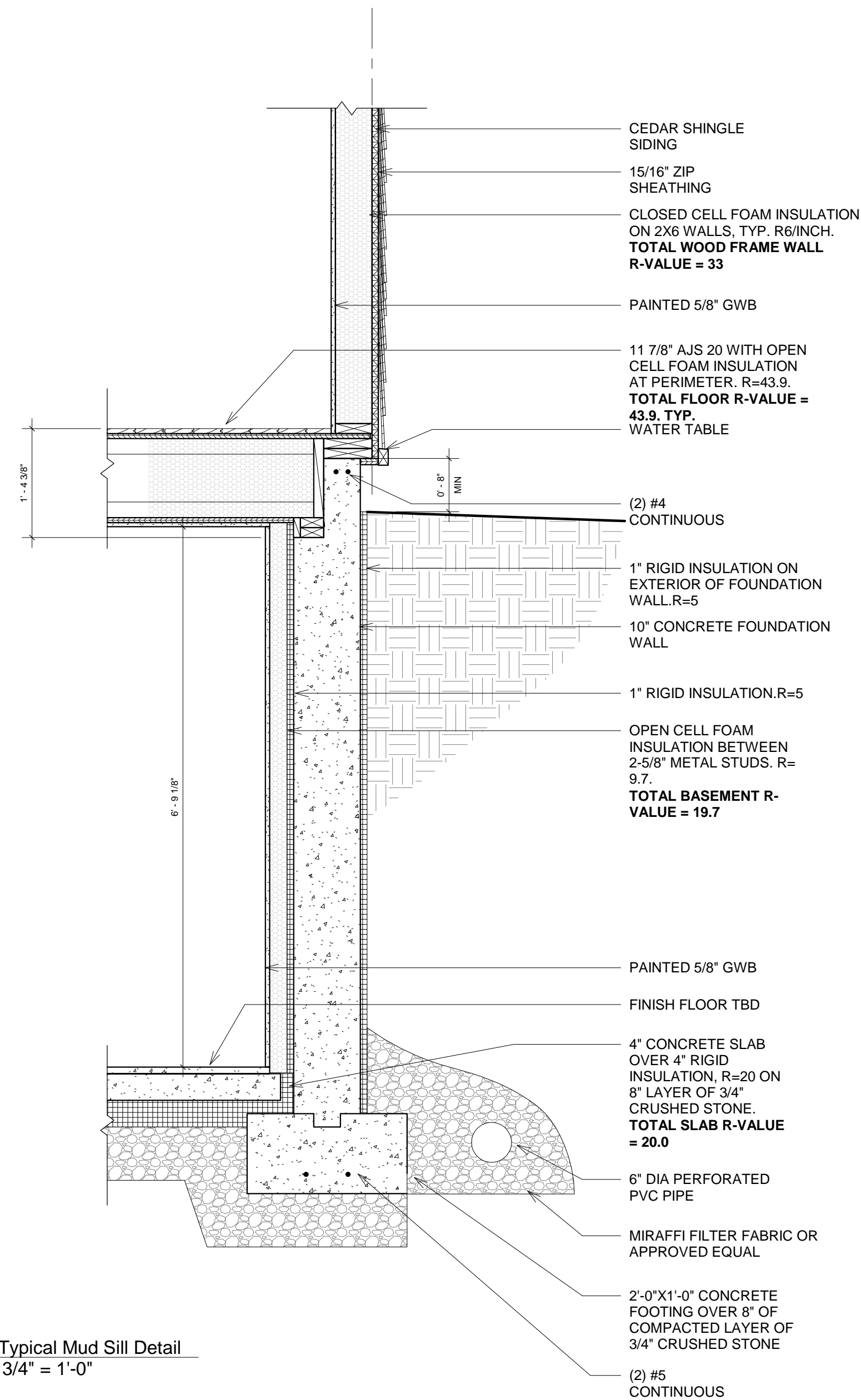
A3.1



PER MASSACHUSETTS STRECH ENERGY CODE - PROJECT WILL COMPLY WITH OPTION 2 PERSCRIPTIVE PATH

TABLE REQUIREMENTS FROM INTERNATIONAL ENERGY CONSERVATION CODE - 2021 EDITION TABLE 402.1.3  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

	Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
Required	5	0.30	0.55	NR	60	30 or 20+5ci or 13+10ci or 0+20ci	13/17	30	15ci or 19 or 13+5ci	10ci, 4 ft	15ci or 19 or 13+5ci
Proposed	5	0.29	n/a	NR	60	33	n/a	43.9	15 + 11.6ci	11.6ci, 7.6ft	n/a



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SCALE: 3/4" = 1'-0"

DATE: 12.13.2023

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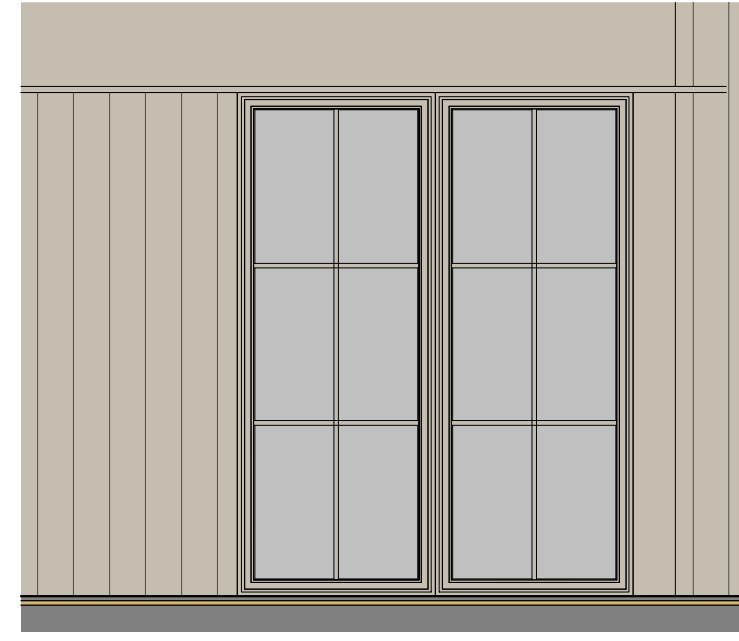
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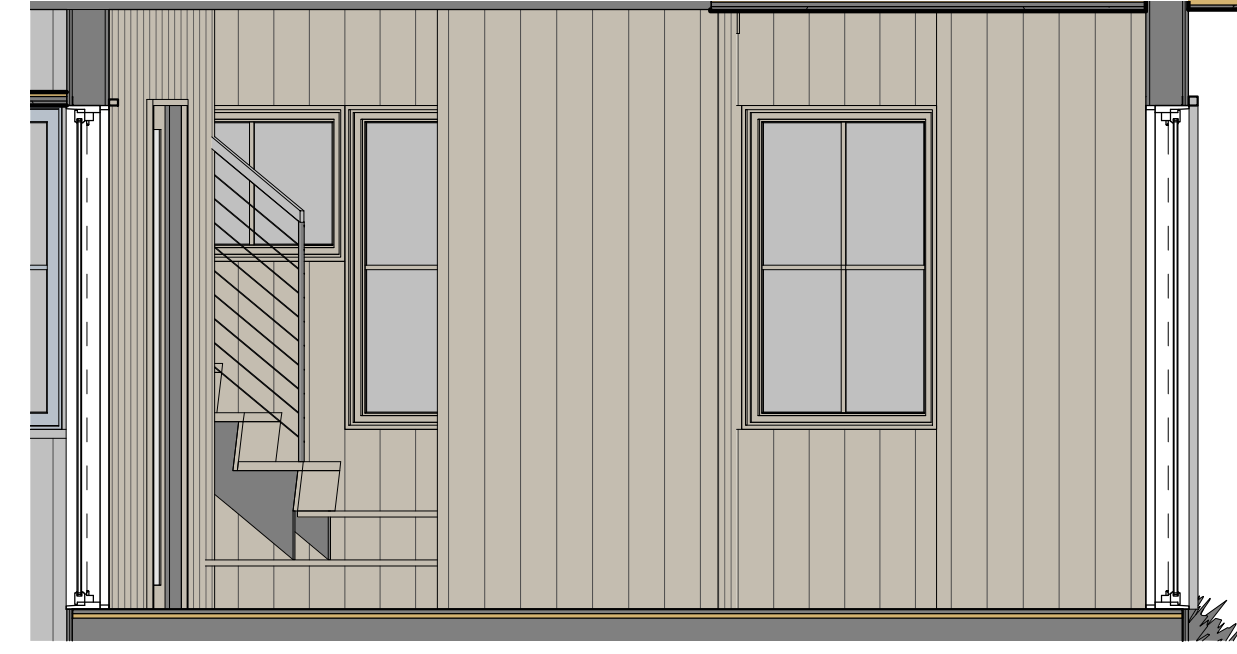
Typical Wall Section

A3.2

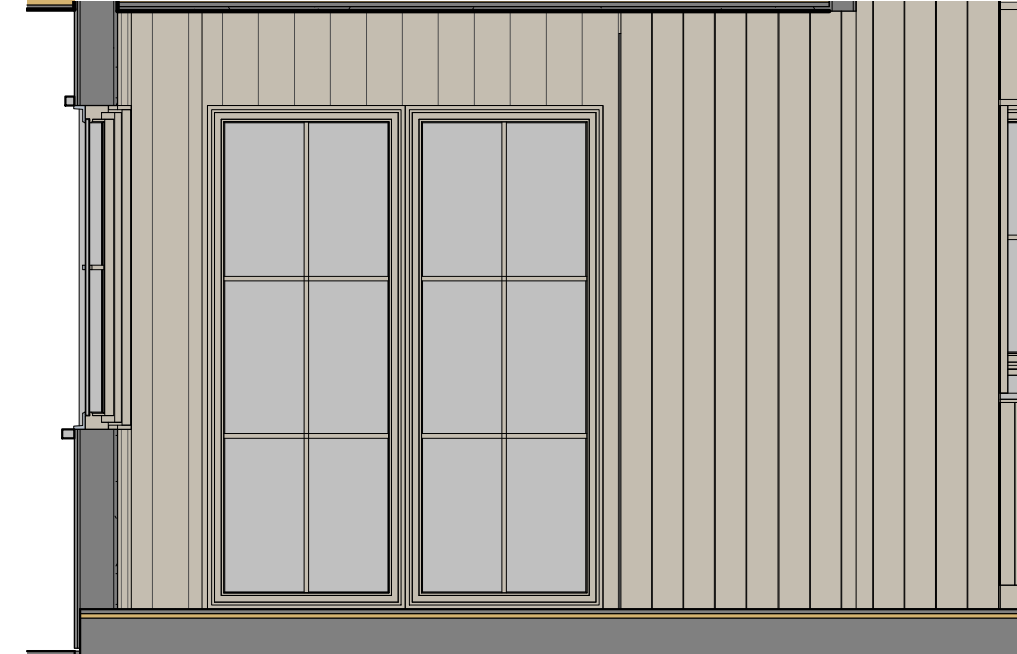




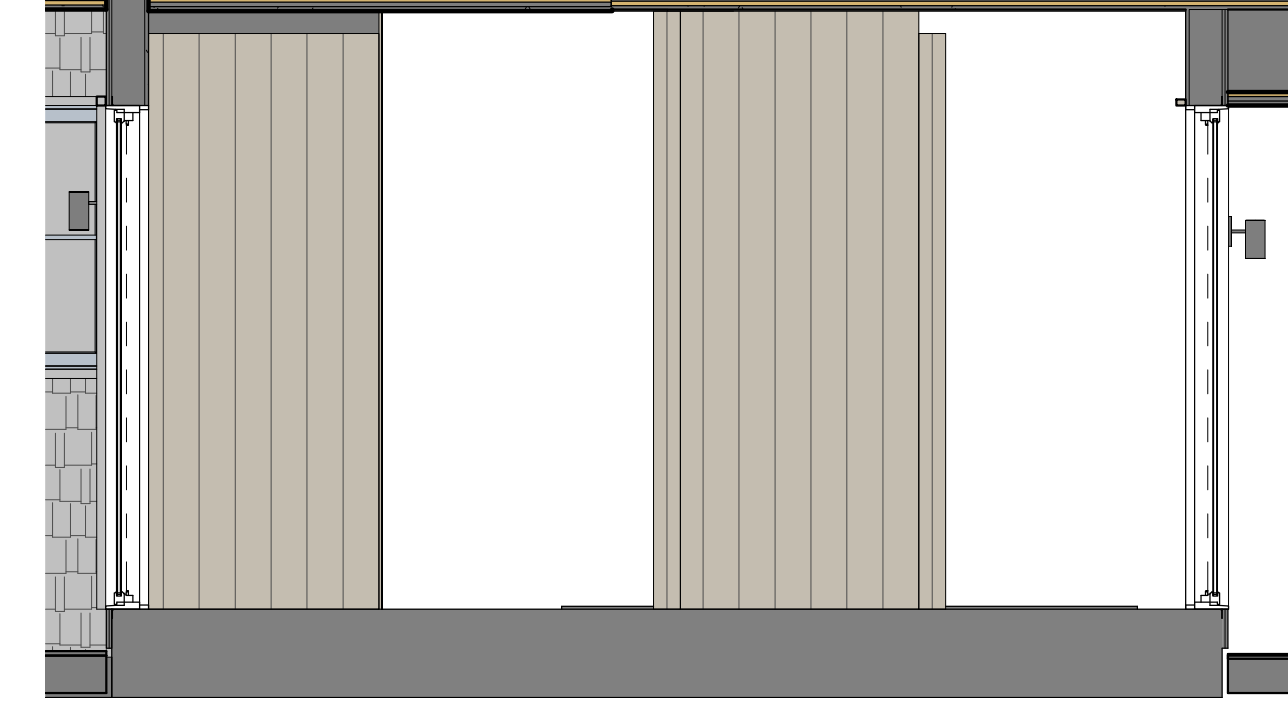
2 Entry Hall\_North  
3/8" = 1'-0"



3 Entry Hall\_East  
3/8" = 1'-0"



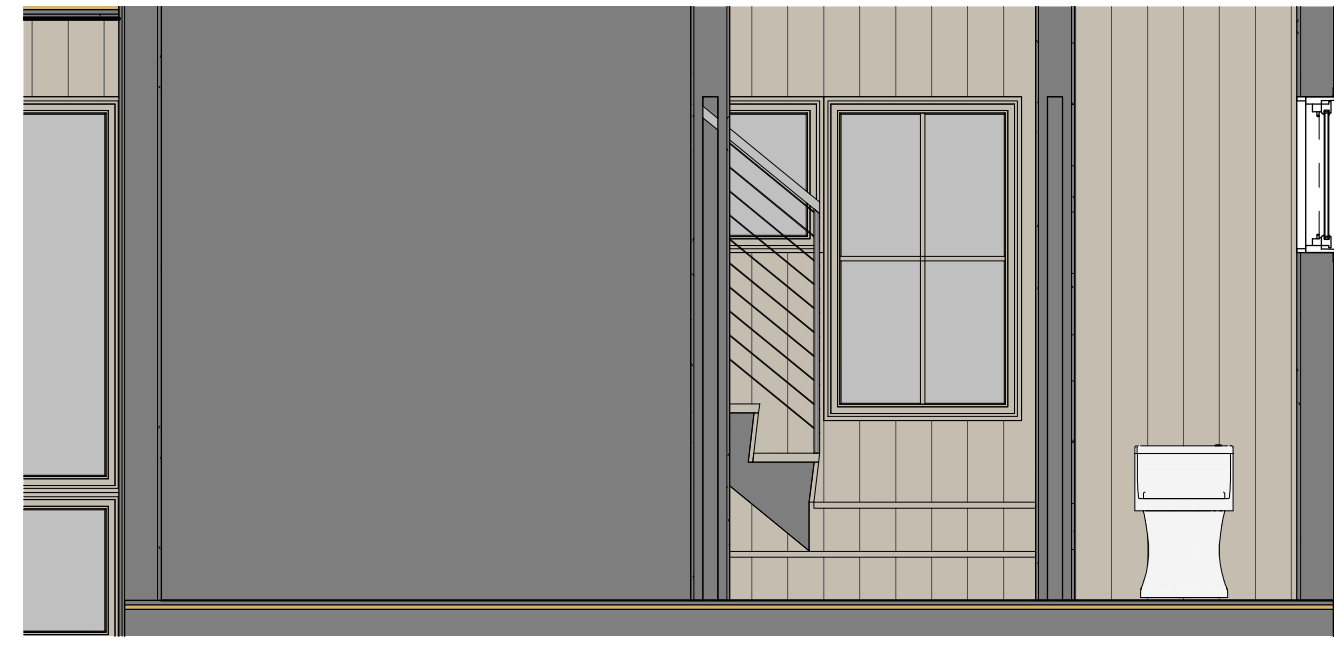
4 Entry Hall\_South  
3/8" = 1'-0"



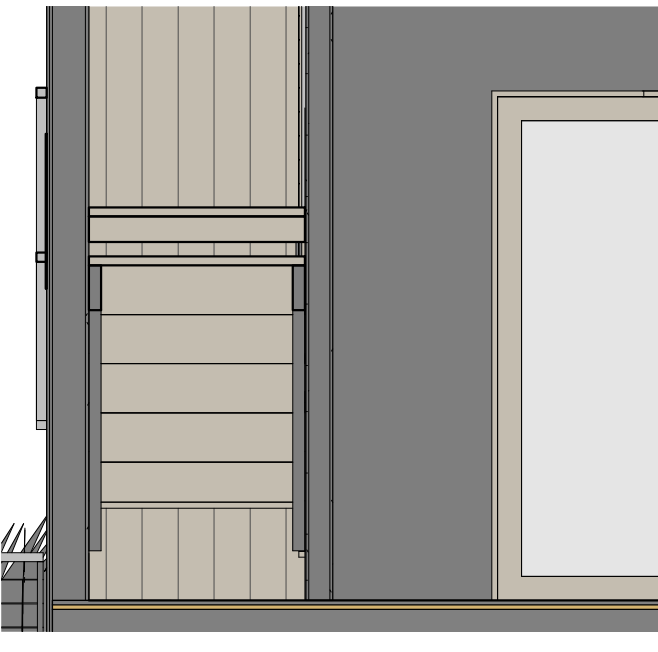
5 Entry Hall\_West  
3/8" = 1'-0"



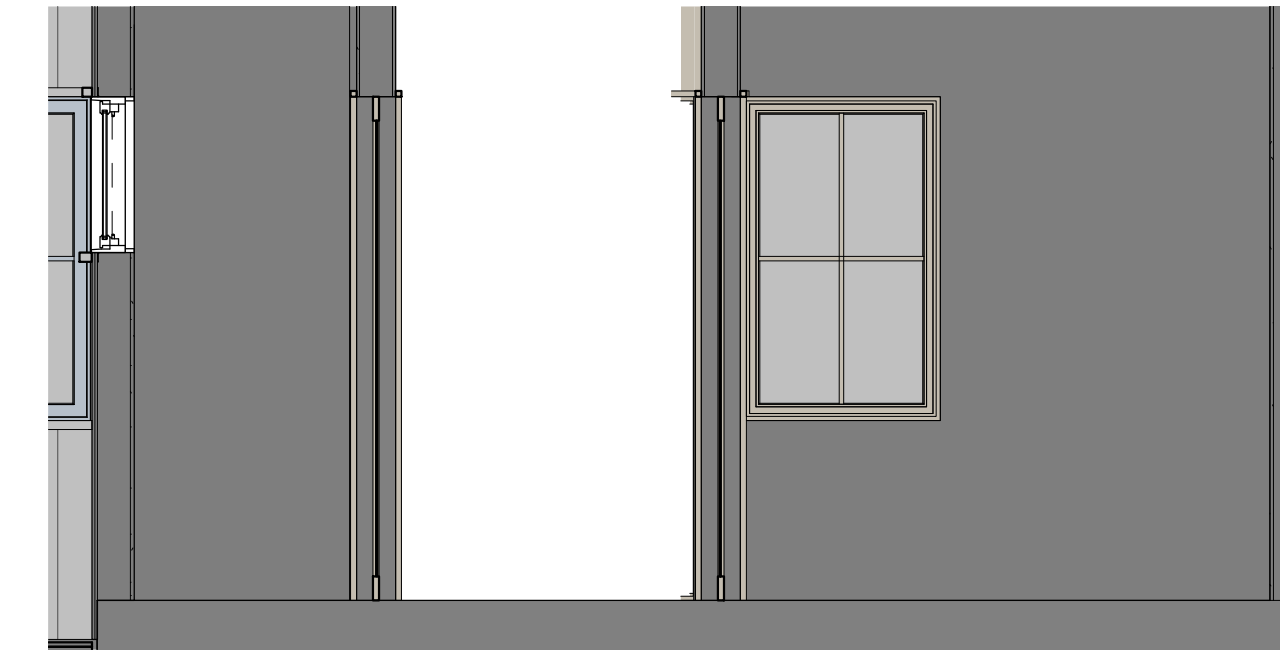
8 Mudroom\_North  
3/8" = 1'-0"



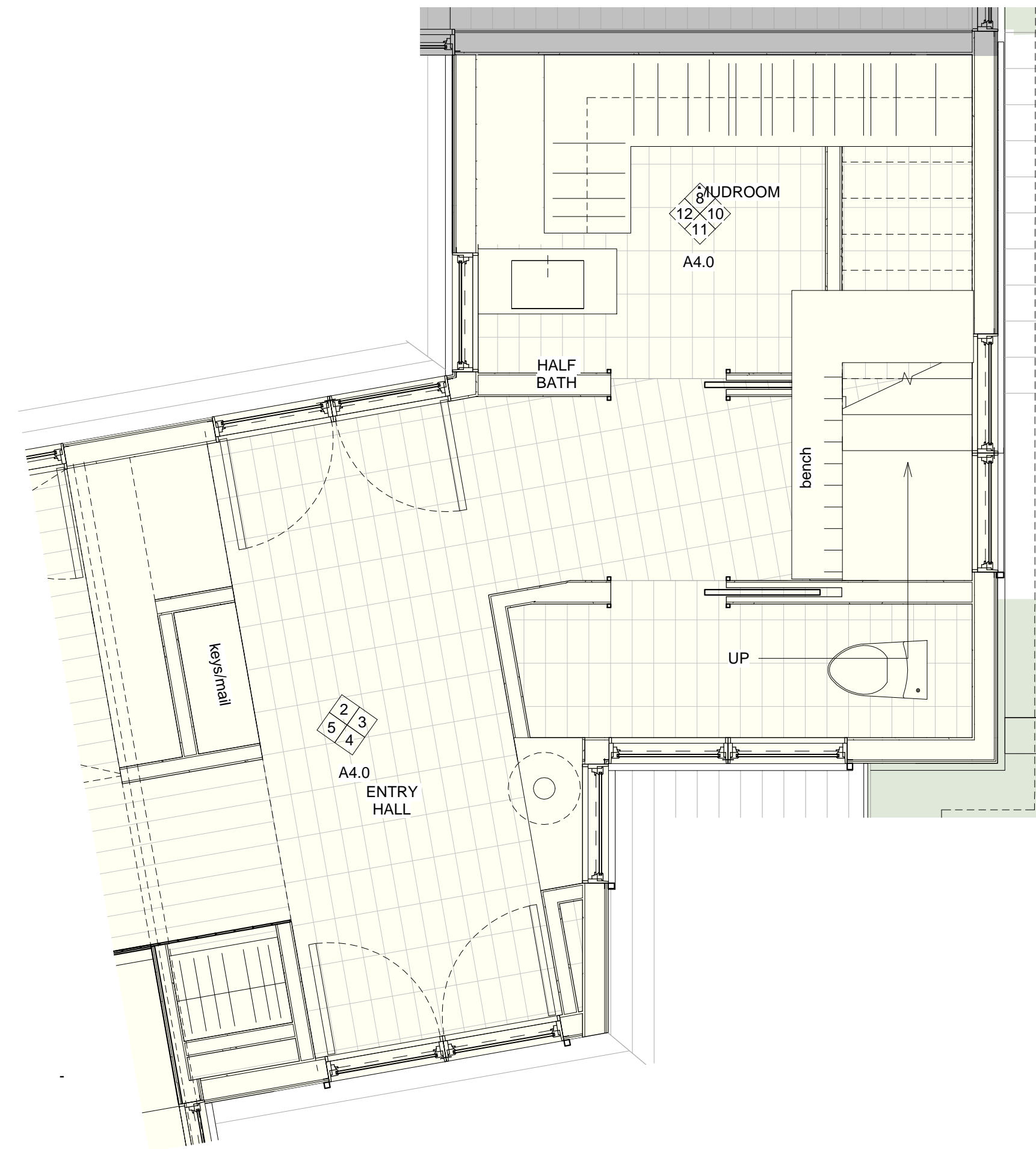
10 Mudroom\_East  
3/8" = 1'-0"



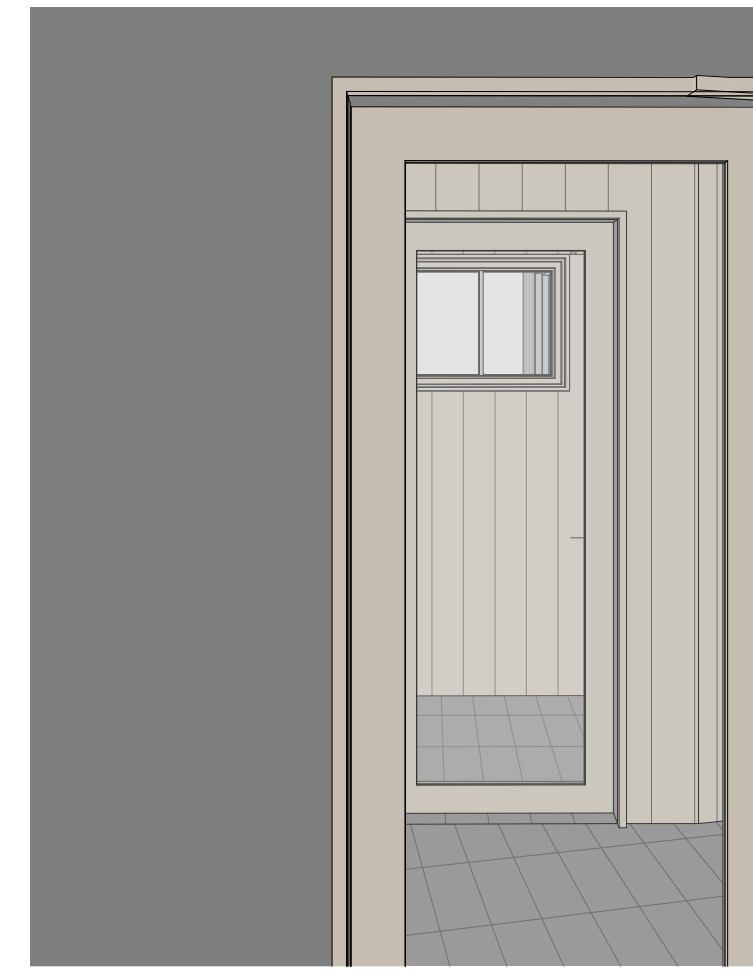
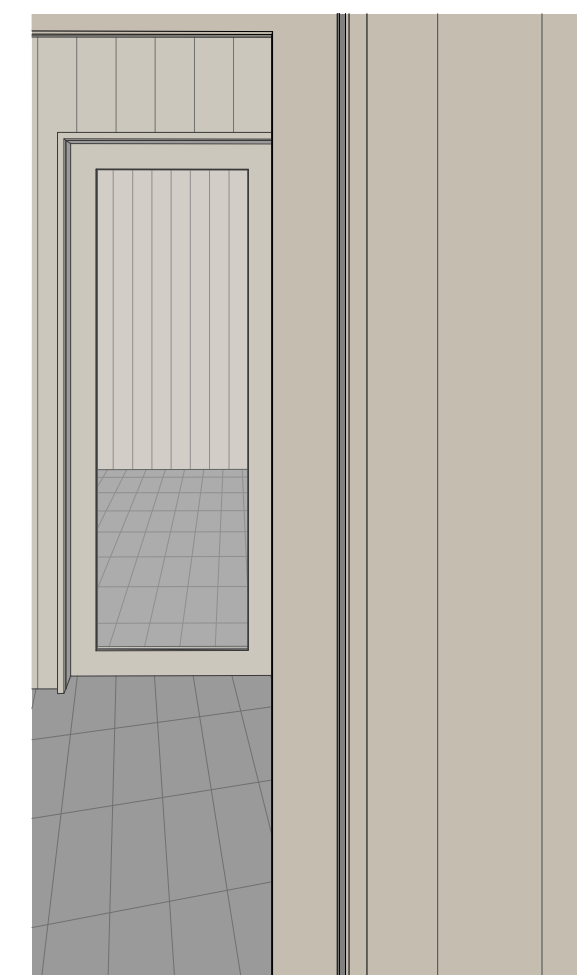
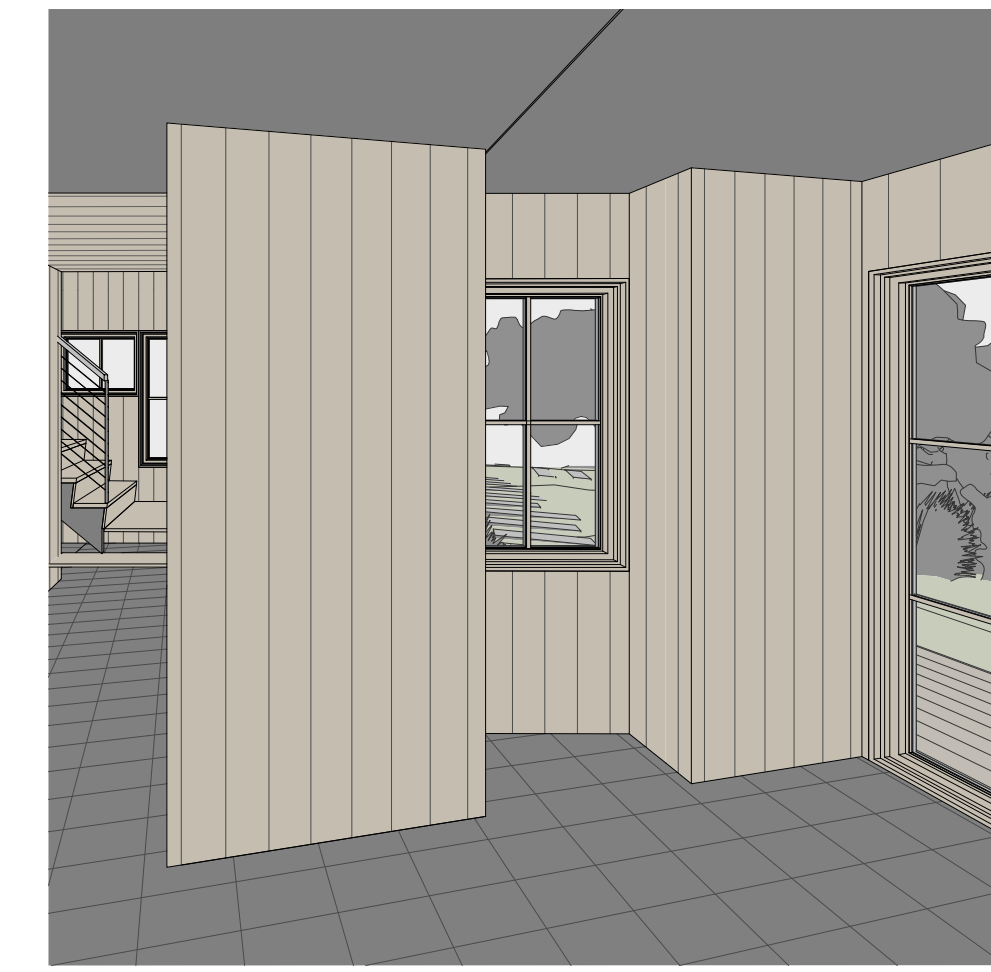
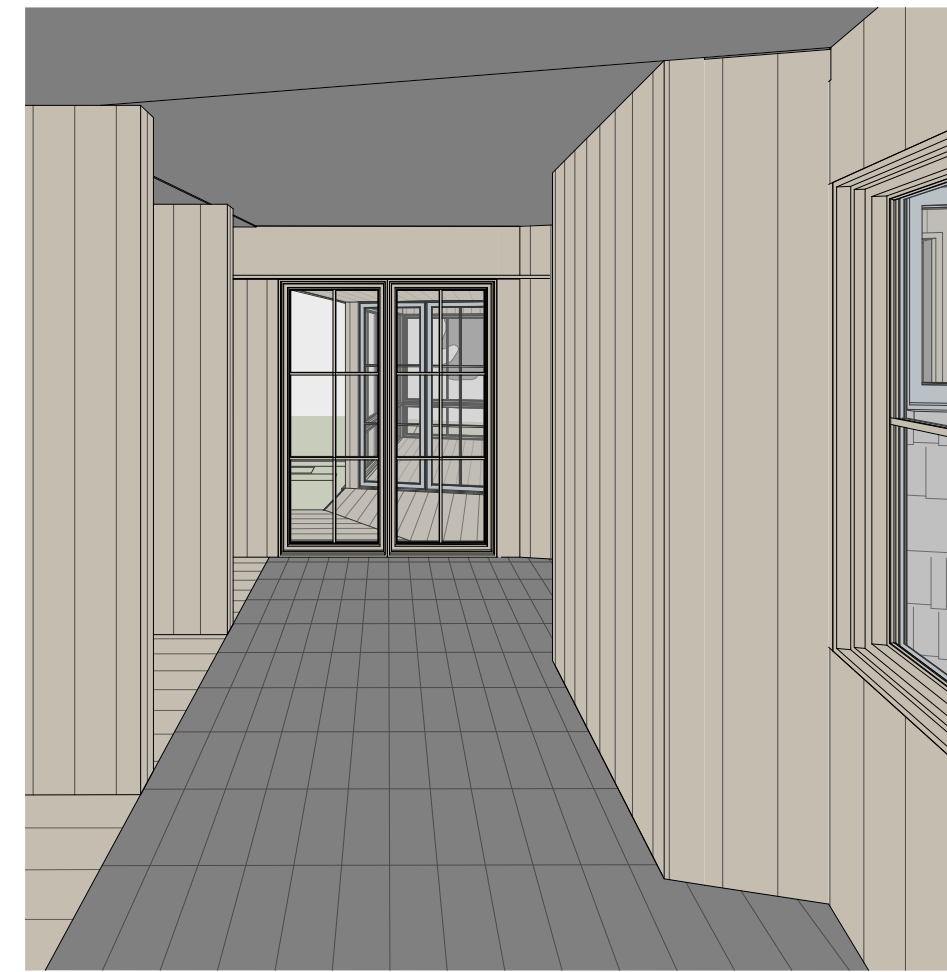
11 Mudroom\_South  
3/8" = 1'-0"



12 Mudroom\_West  
3/8" = 1'-0"



1 Enlarged Plan\_Entry  
3/8" = 1'-0"



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DATE

SCALE: 3/8" = 1'-0"

DATE: 12.13.2023

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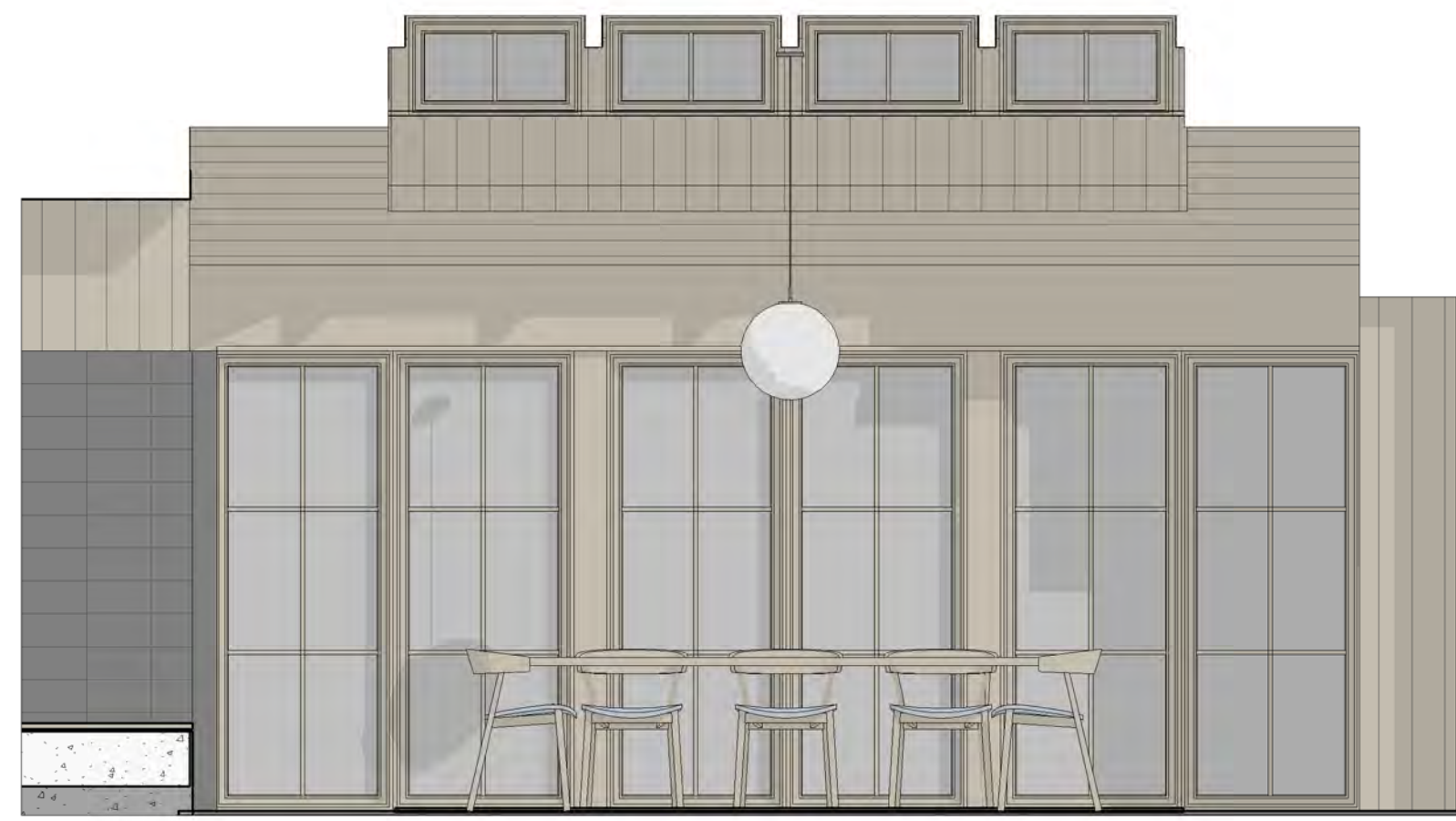
Odenborg - Stupnitsky Residence

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Interior Elevations\_Entry Area

**A4.0**

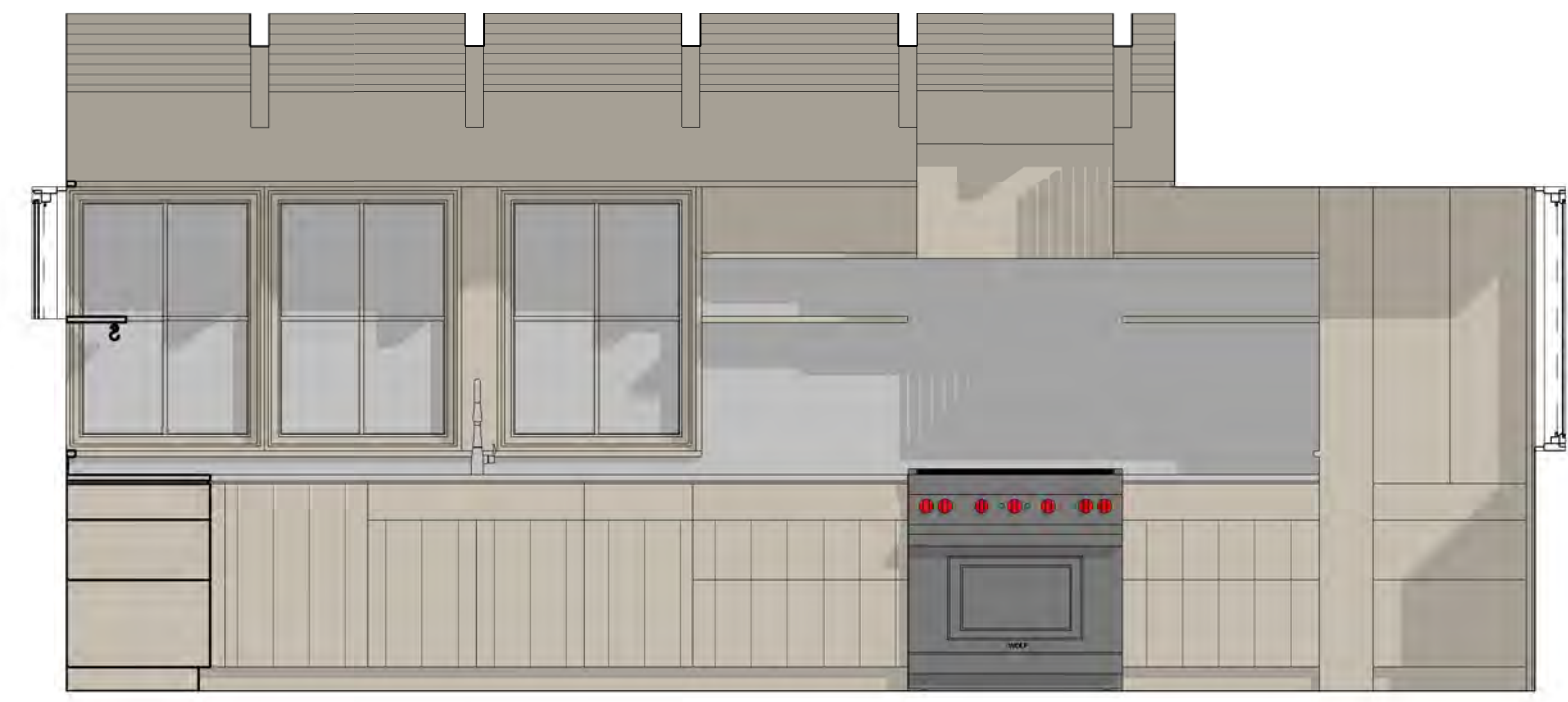




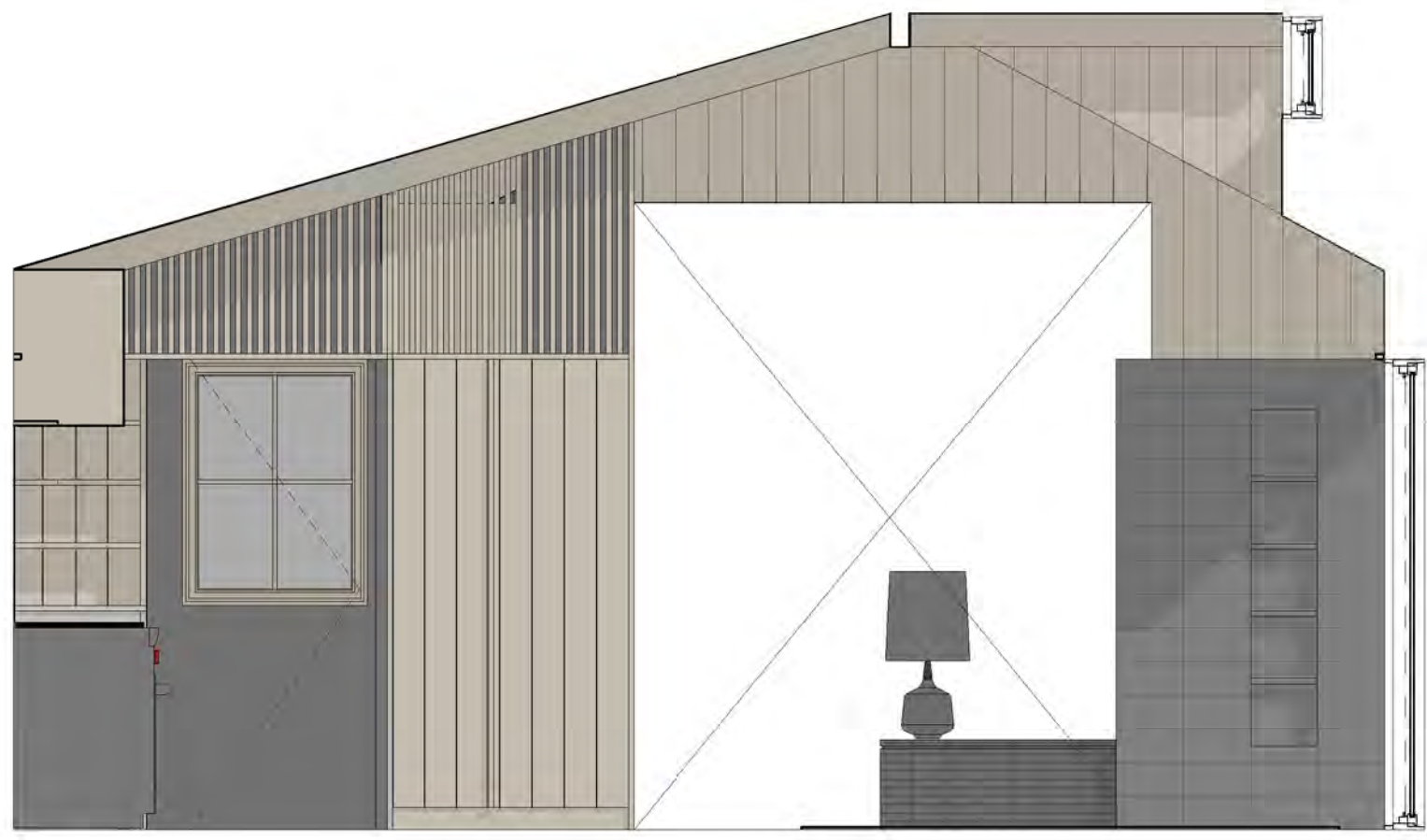
① Dining Room\_North  
3/8" = 1'-0"



② Kitchen\_East  
3/8" = 1'-0"



③ Kitchen\_South  
3/8" = 1'-0"



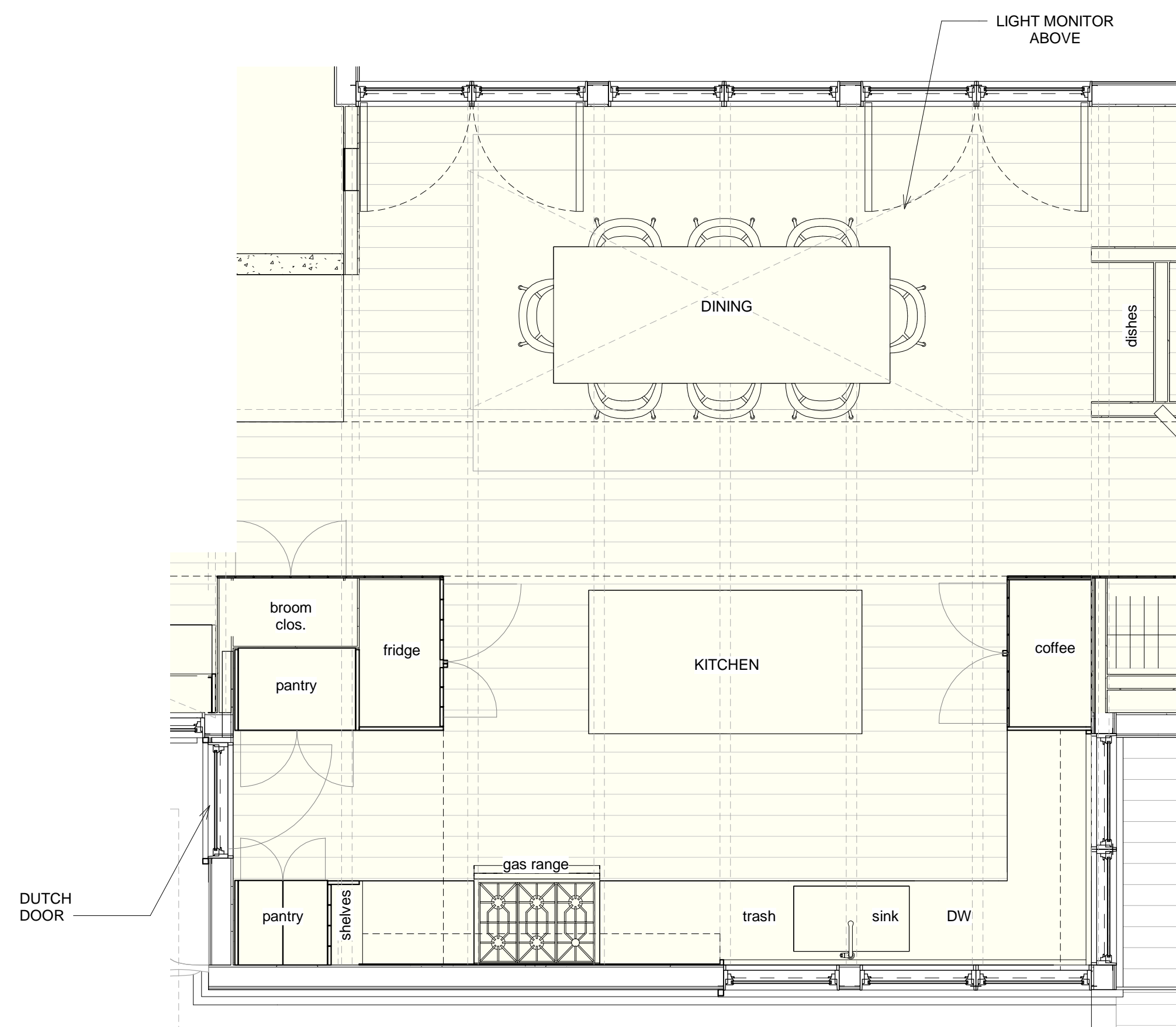
④ Kitchen West  
3/8" = 1'-0"



⑤ Kitchen\_Island\_North  
3/8" = 1'-0"



⑥ Kitchen\_Island\_South  
3/8" = 1'-0"



⑪ Enlarged Plan\_Kitchen & Dining  
3/8" = 1'-0"



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DATE

SCALE: 3/8" = 1'-0"	DATE: 12.13.2023	DRAWN BY: MLA
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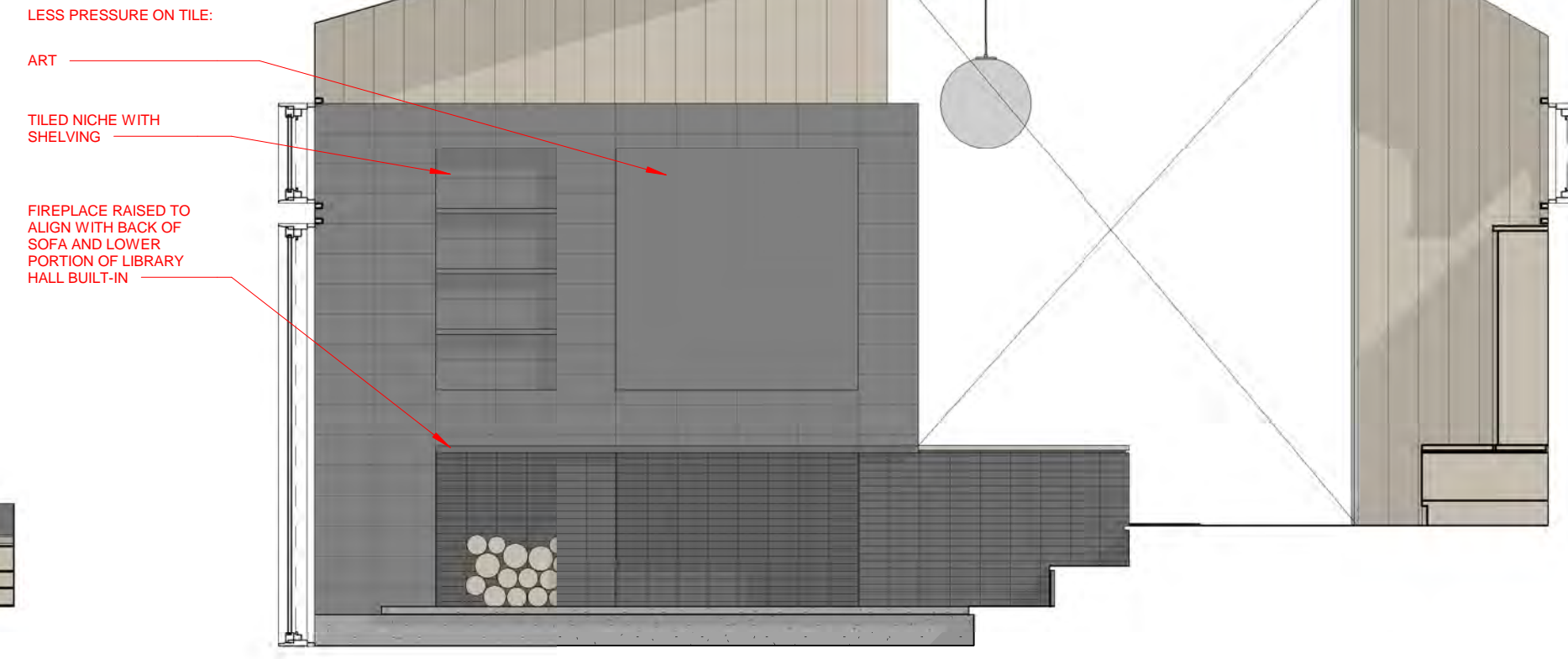
Odenborg - Stupnitsky Residence  
 26 Chappaquiddick Ave, West Tisbury MA 02568  
 Interior Elevations\_Kitchen&Dining

A4.1





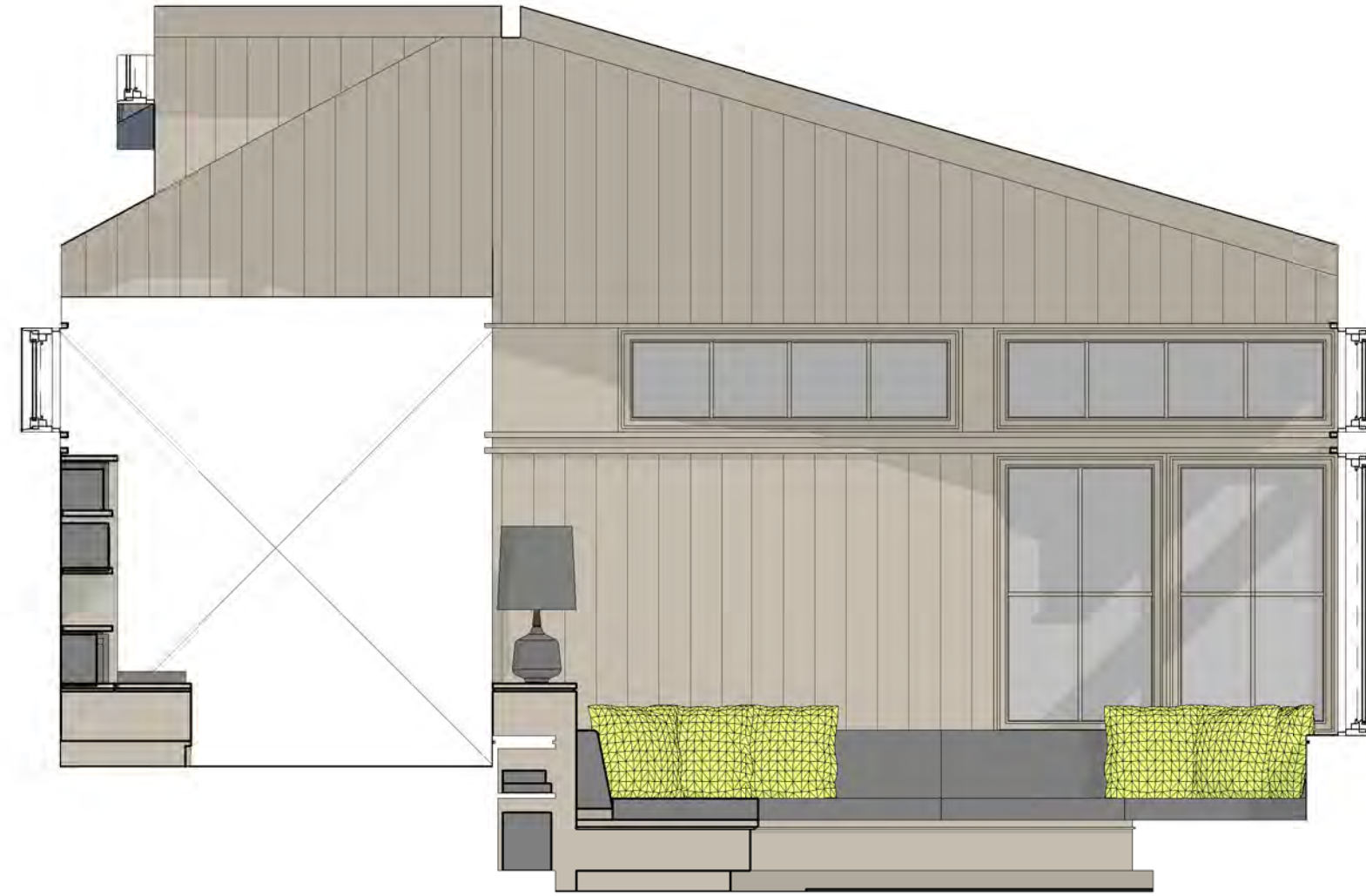
5 Living Room\_North  
3/8" = 1'-0"



6 Living Room\_East  
3/8" = 1'-0"



7 Living Room\_South  
3/8" = 1'-0"



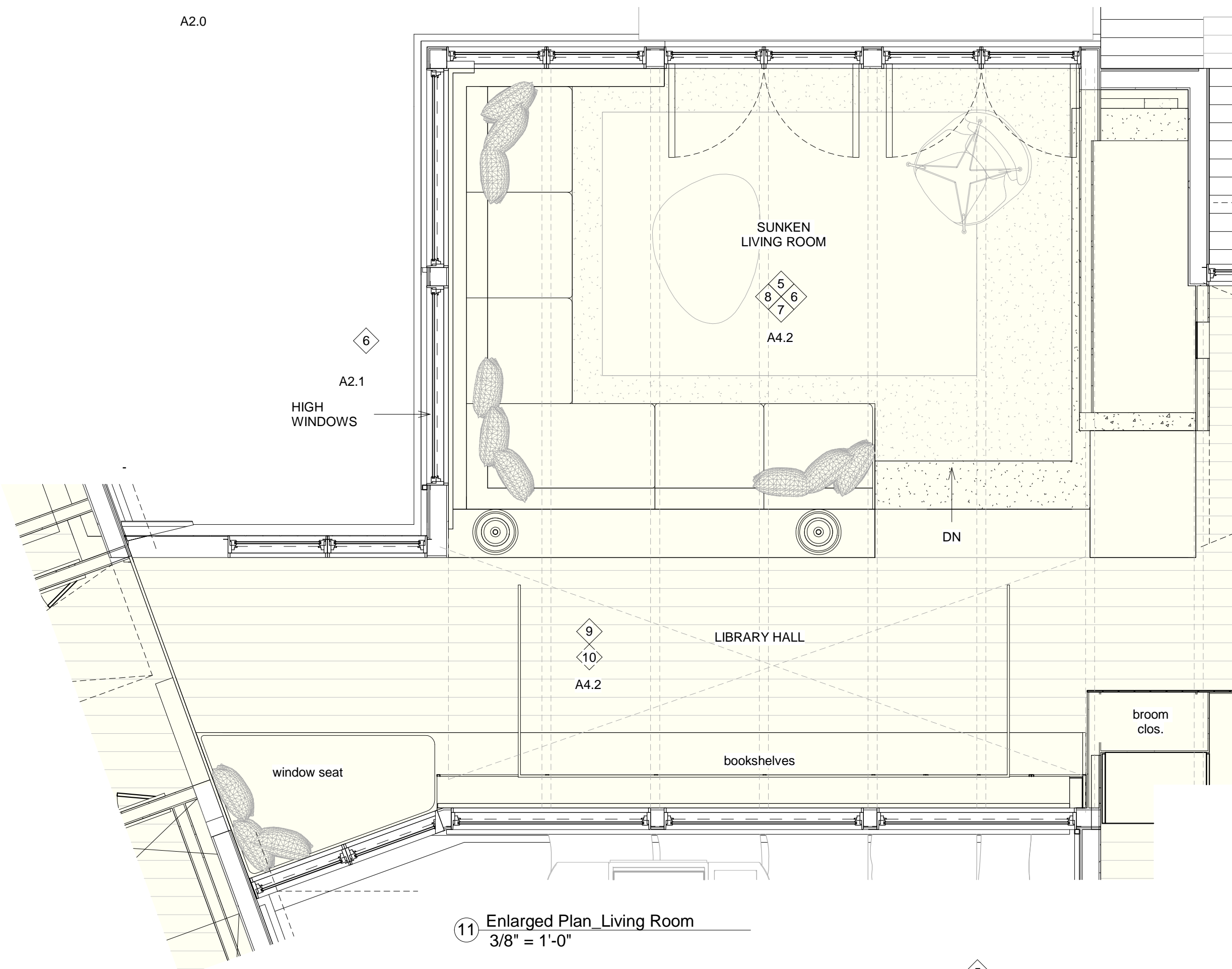
8 Living Room\_West  
3/8" = 1'-0"



9 Library Hall\_North  
3/8" = 1'-0"



10 Library Hall\_South  
3/8" = 1'-0"



11 Enlarged Plan\_Living Room  
3/8" = 1'-0"



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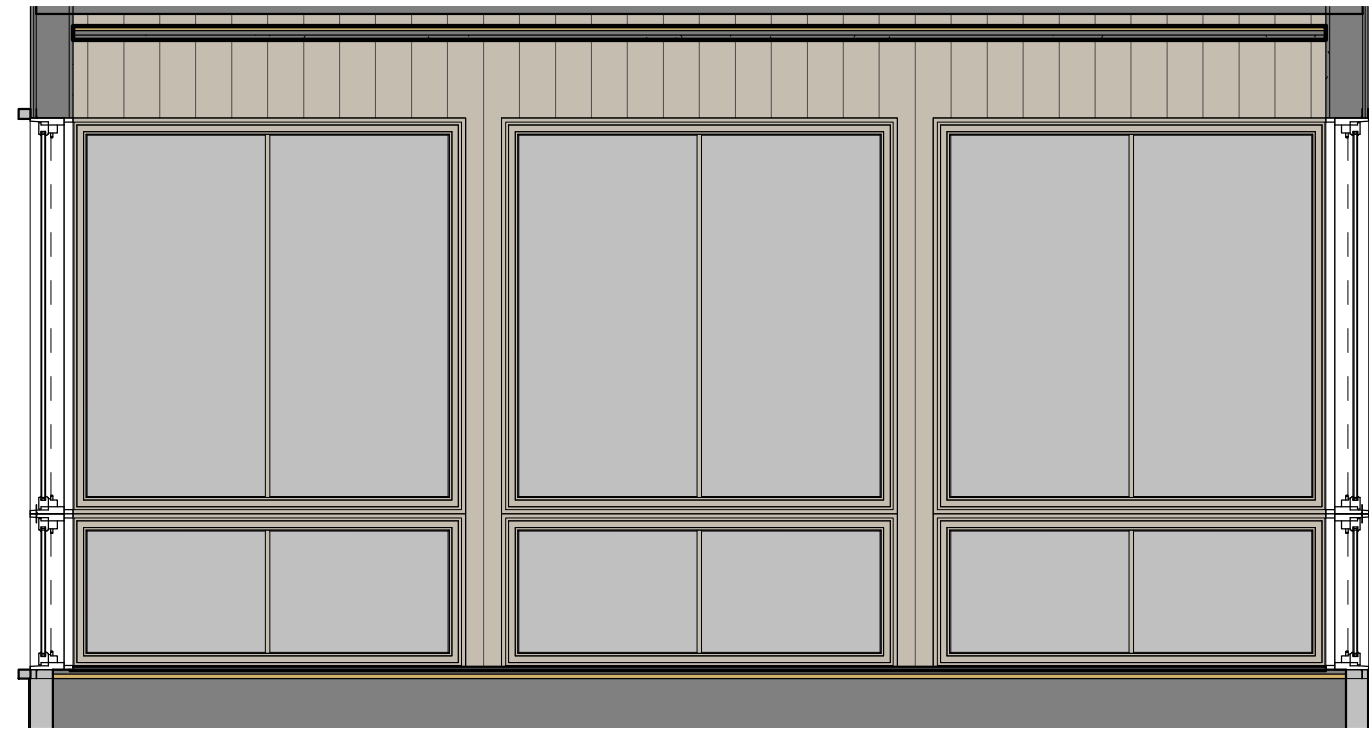
SCALE: 3/8" = 1'-0"
DATE: 12.13.2023
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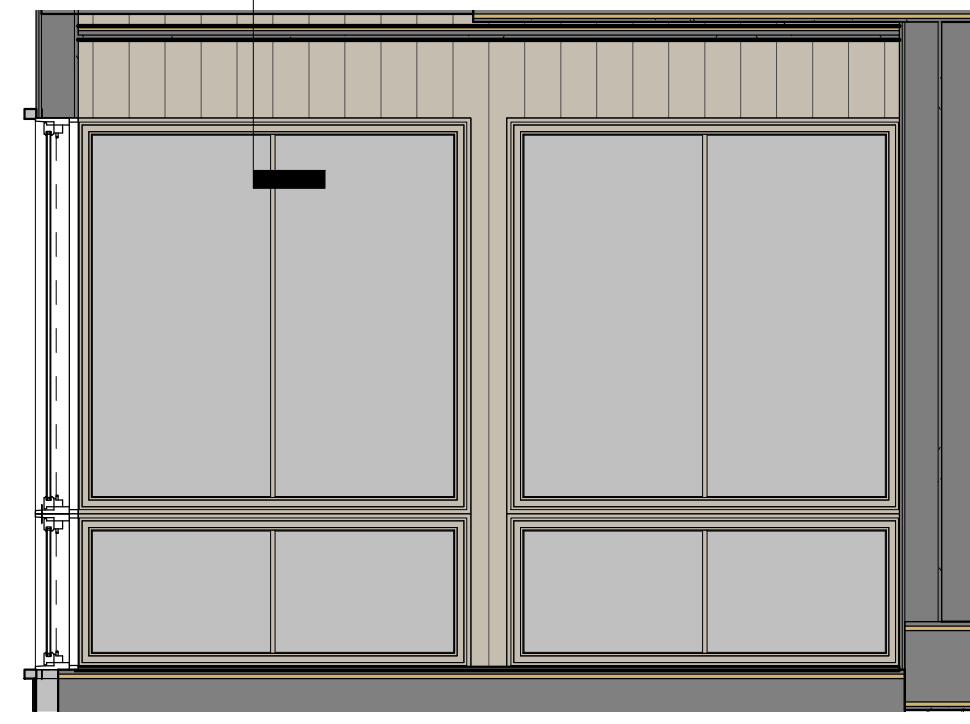
Odenborg - Stupnitsky Residence  
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 Interior Elevations\_Living Room

A4.2

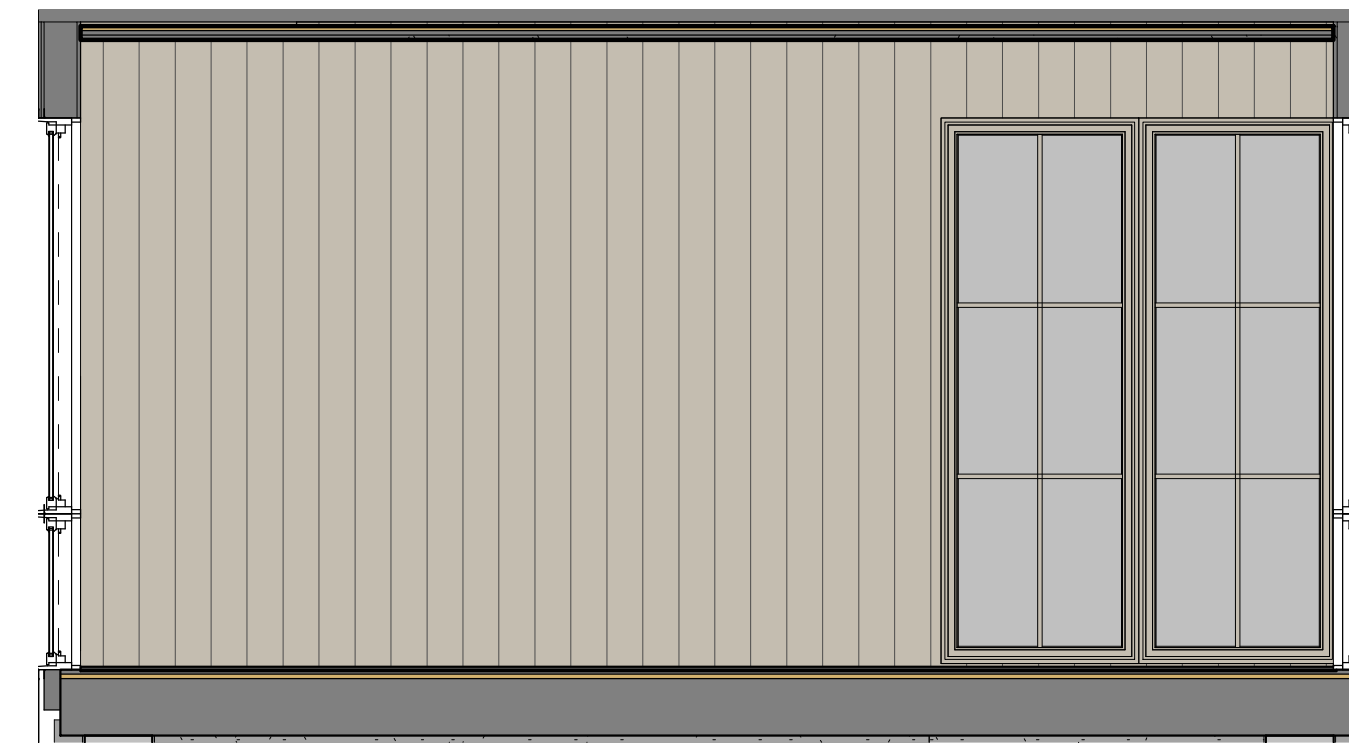




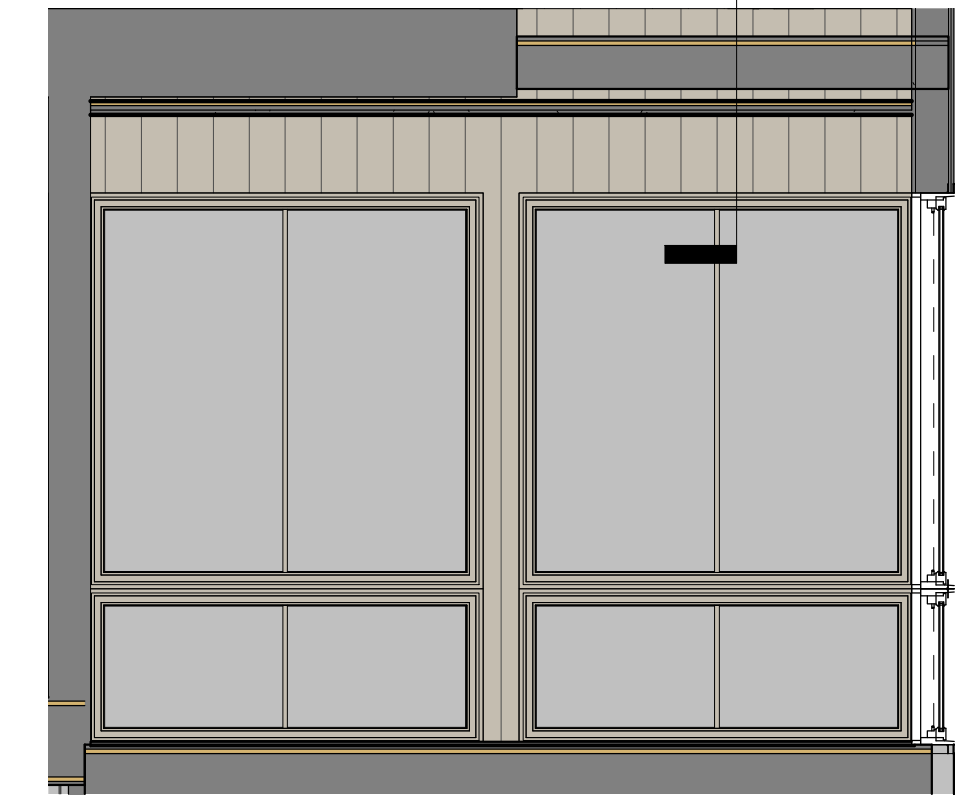
② Screened Porch\_North  
3/8" = 1'-0"



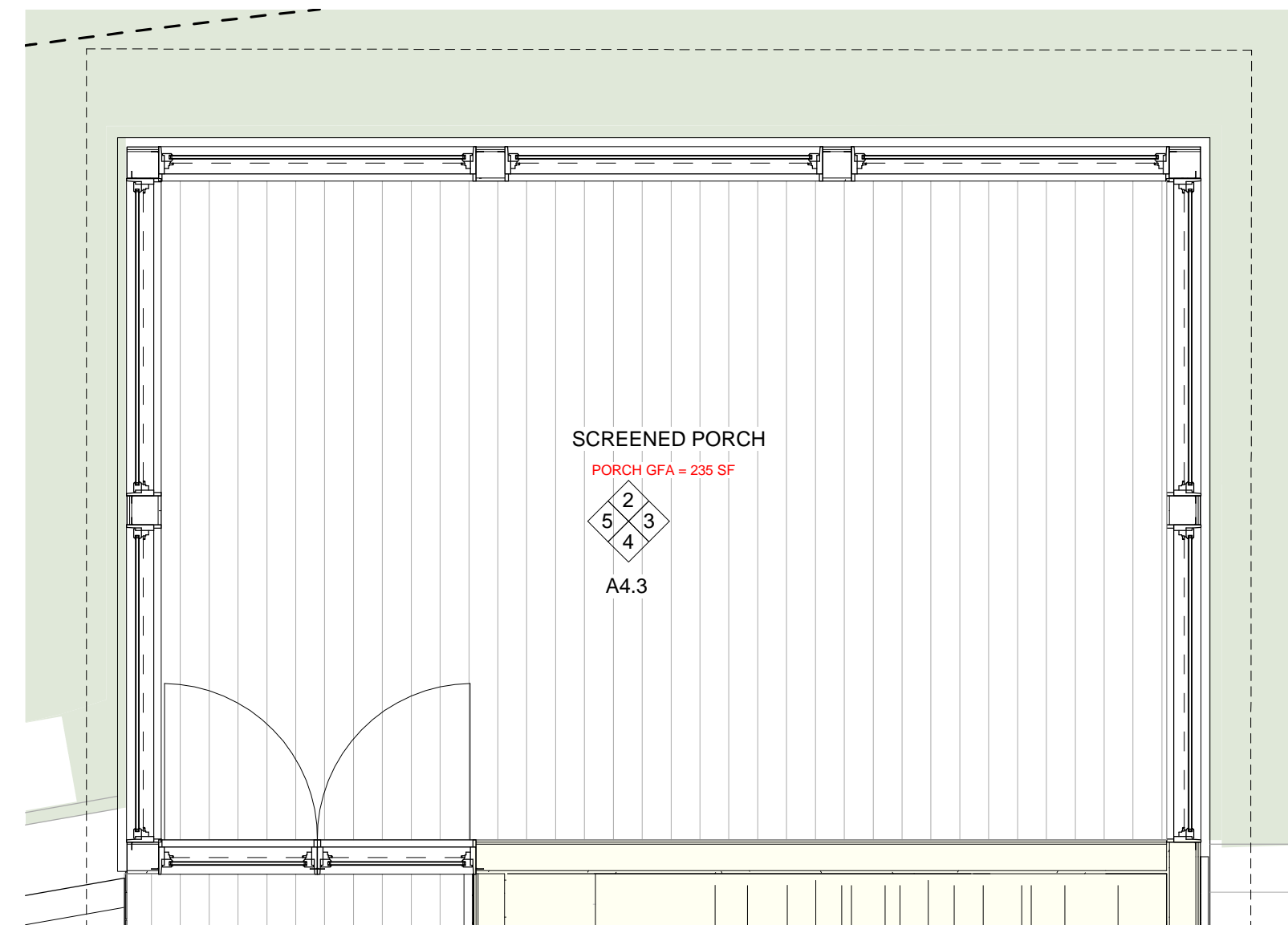
③ Screened Porch\_East  
3/8" = 1'-0"



④ Screened Porch\_South  
3/8" = 1'-0"



⑤ Screened Porch\_West  
3/8" = 1'-0"



① Enlarged Plan\_Screened Porch  
3/8" = 1'-0"

12x10  
A4.0

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SCALE: 3/8" = 1'-0"

DATE: 12.13.2023

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Odenborg - Stupnitsky Residence

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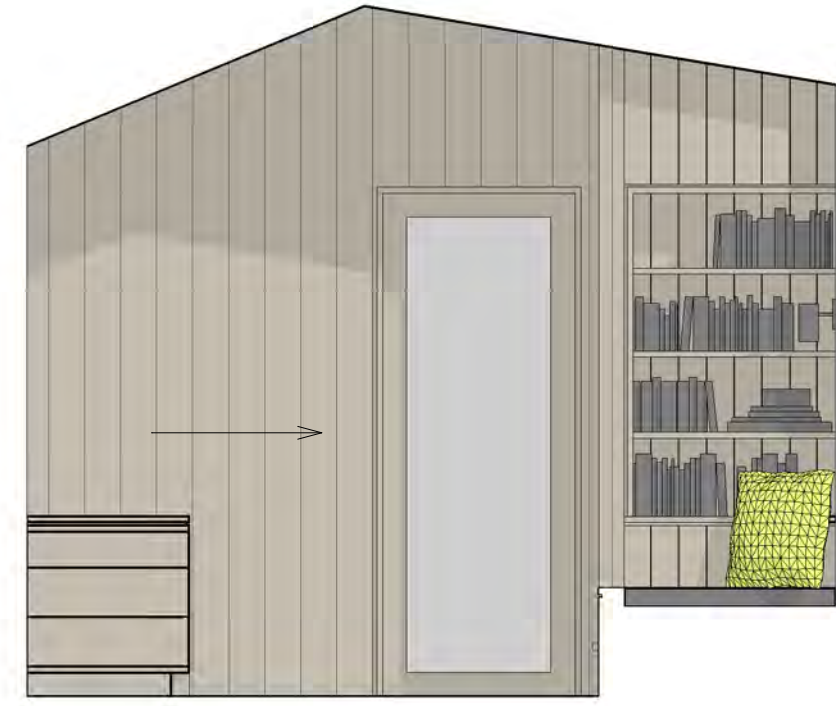
Interior Elevations\_Screened Porch

A4.3





② Writing Room\_North  
3/8" = 1'-0"



③ Writing Room\_East  
3/8" = 1'-0"



④ Writing Room\_South  
3/8" = 1'-0"



⑤ Writing Room\_West  
3/8" = 1'-0"



⑦ Writing Room\_2



⑥ Writing Room\_1

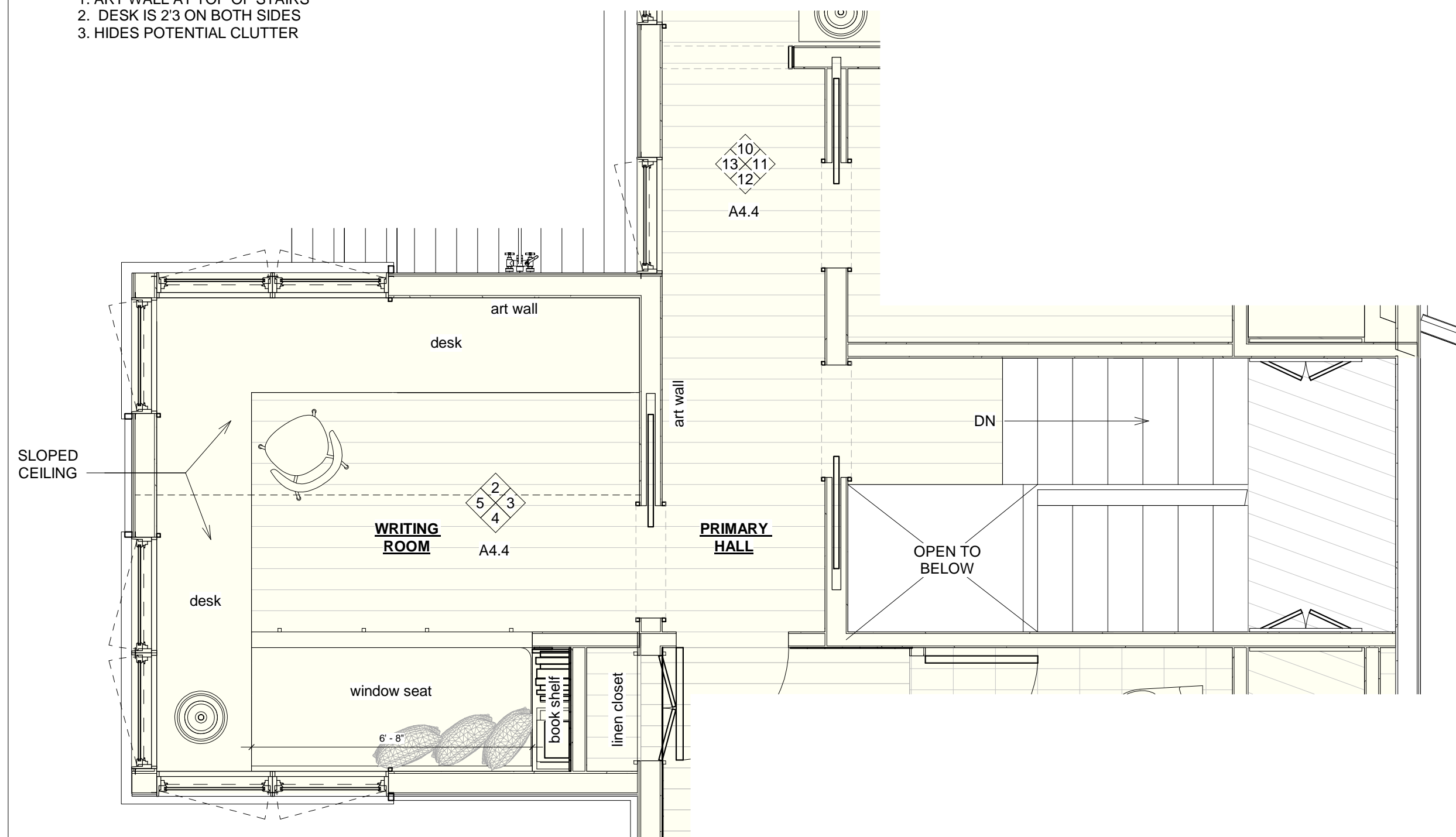


⑧ Writing room\_3

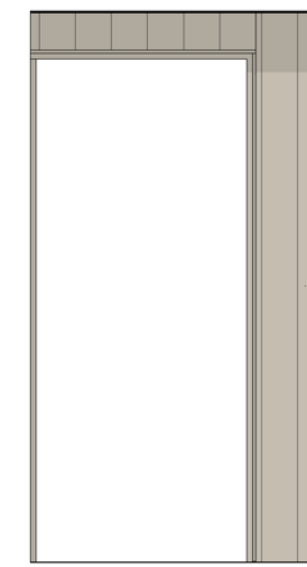


⑨ Writing room\_4

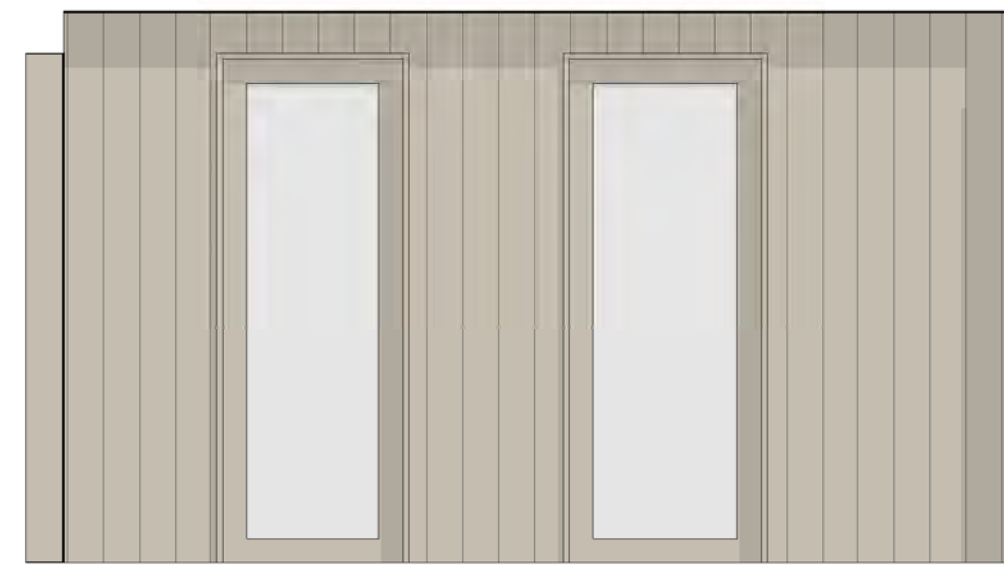
- ITEMS UPDATED:**
- STORAGE UNDER DAYBED
  - ADDED WINDOW TO HALLWAY (OTHERWISE NO NATURAL LIGHT)
- COMMENTS:**
- BASEBOARD AT PANELING?
  - SHIFTED DOOR TO BE FULLY OFFSET FROM STAIR DOOR
  - 1. ART WALL AT TOP OF STAIRS
  - 2. DESK IS 2'3" ON BOTH SIDES
  - 3. HIDES POTENTIAL CLUTTER



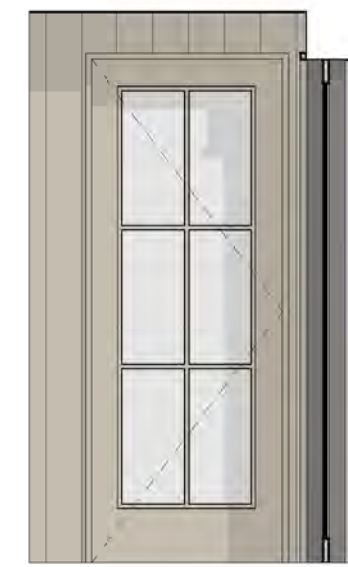
① Enlarged Plan\_Writing Room & Primary Hall  
3/8" = 1'-0"



⑩ Primary Hall\_North  
3/8" = 1'-0"



⑪ Primary Hall\_East  
3/8" = 1'-0"



⑫ Primary Hall\_South  
3/8" = 1'-0"



⑬ Primary Hall\_West  
3/8" = 1'-0"



⑭ Primary Hallway\_1



⑮ Primary Hall\_2

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SCALE: 3/8" = 1'-0"
DATE: 12.13.2023
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 Interior Elevations\_ Writing Room & Primary Hall

**A4.4**





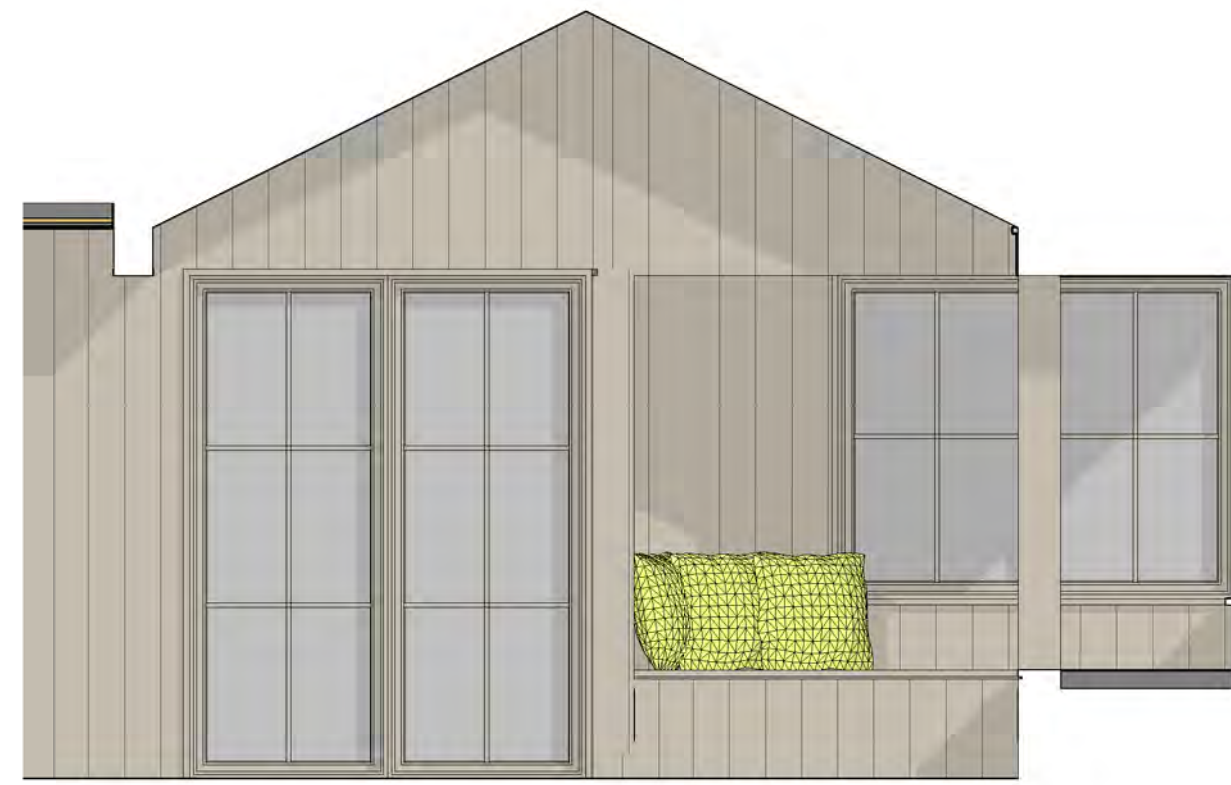
7 Primary Bedroom\_North  
3/8" = 1'-0"



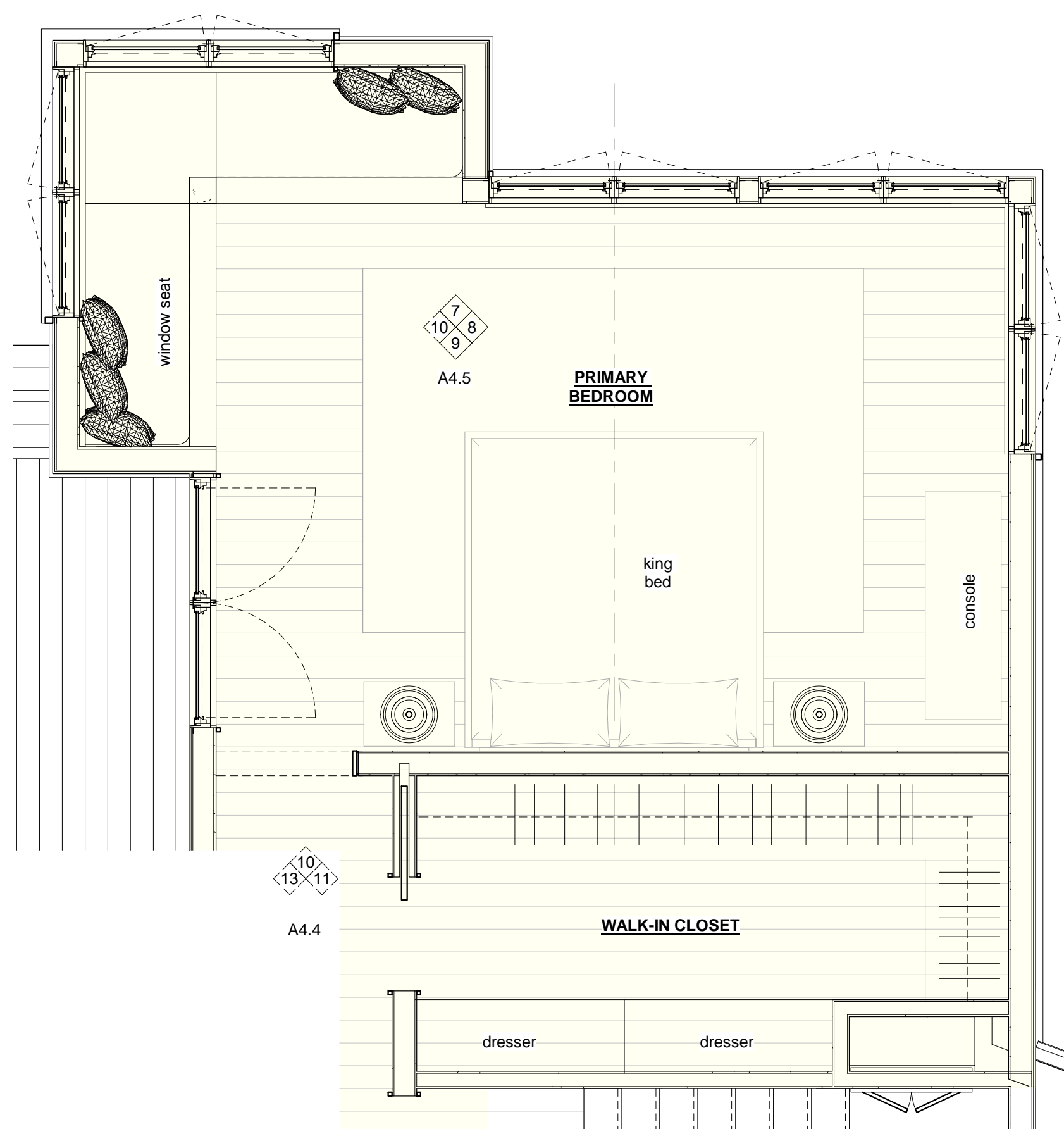
8 Primary Bedroom\_East  
3/8" = 1'-0"



9 Primary Bedroom\_South  
3/8" = 1'-0"



10 Primary Bedroom\_West  
3/8" = 1'-0"



6 Enlarged Plan\_Primary Bedroom  
3/8" = 1'-0"

- ITEMS UPDATED:**
- CEILINGS NOW WHITE
  - CUSHIONS PULLED BACK, NOW CAP AT EDGE OF CUSHION (TO HOLD IT IN)
- COMMENTS**
- BASEBOARD AT PANELING?
  - CANNOT CHANGE POST LOCATION (FOR STRUCTURAL REASONS)
  - POCKET DOOR INSTEAD OF CASED OPENING AT BEDROOM ENTRY?



ISSUE
DATE

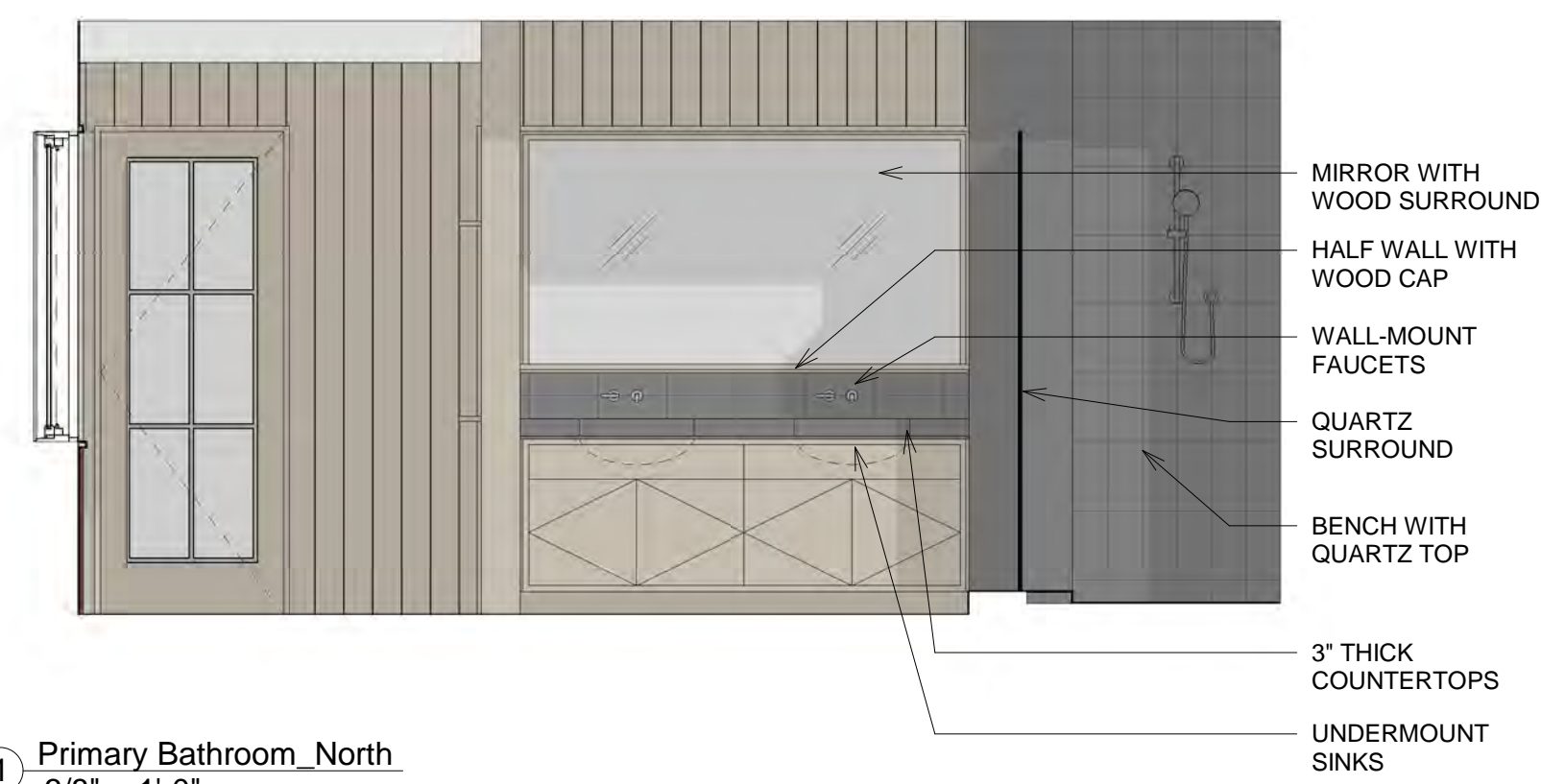
SCALE: 3/8" = 1'-0"
DATE: 12.13.2023
DRAWN BY: MLA

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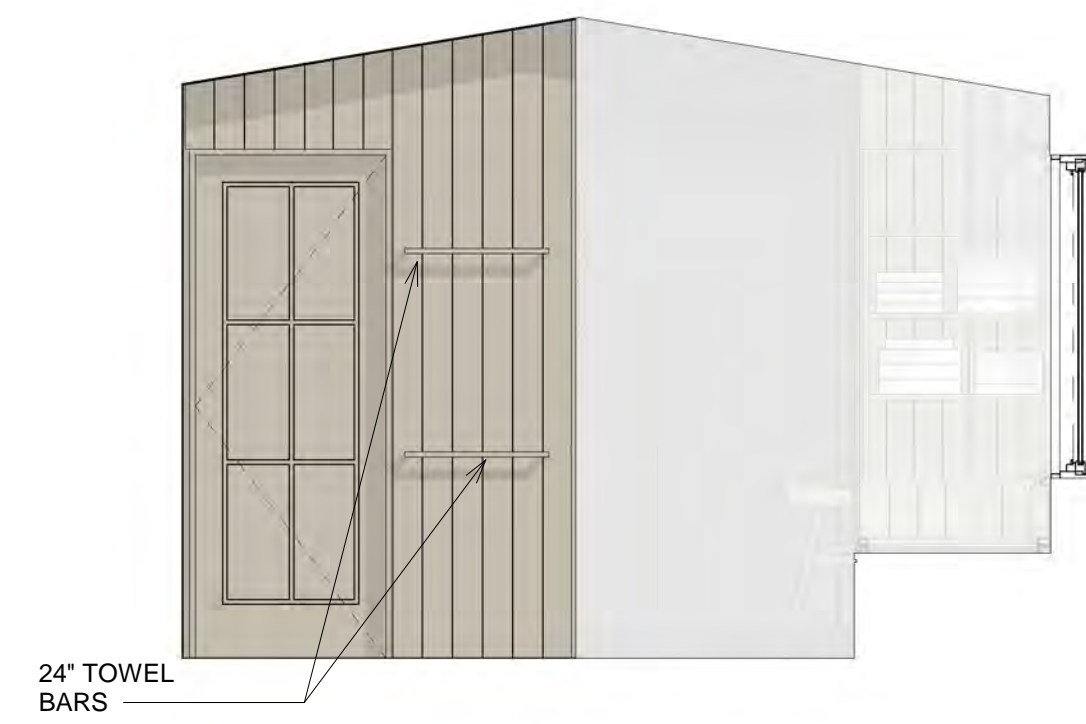
Odenborg - Stupnitsky Residence  
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 Interior Elevations\_Primary Bedroom

A4.5

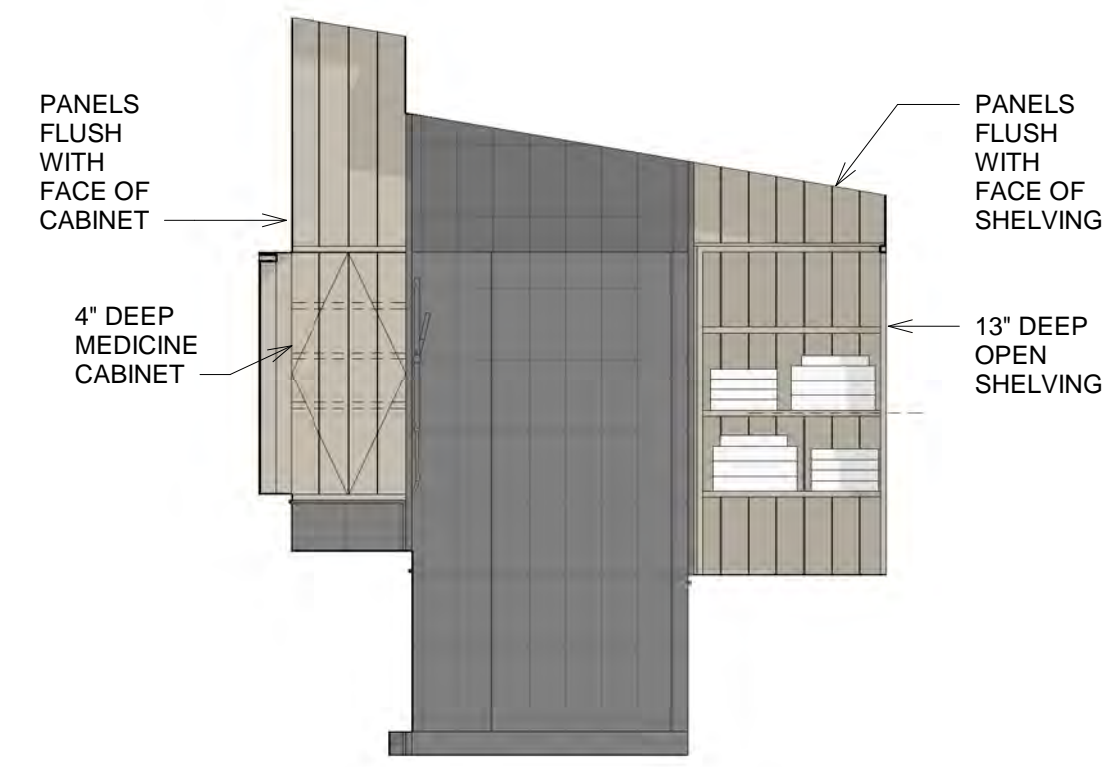




1 Primary Bathroom\_North  
3/8" = 1'-0"



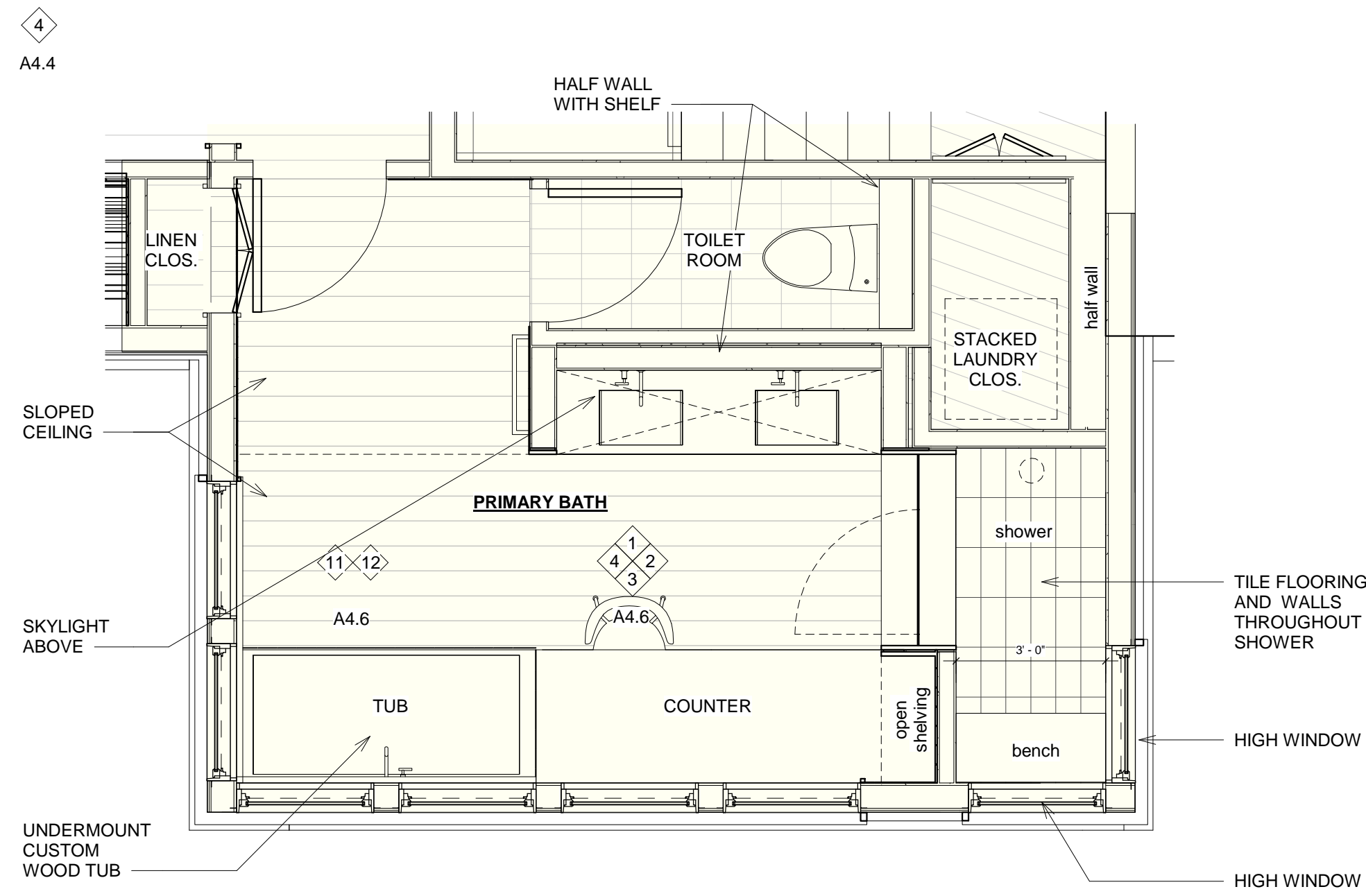
12 Primary Bath\_East  
3/8" = 1'-0"



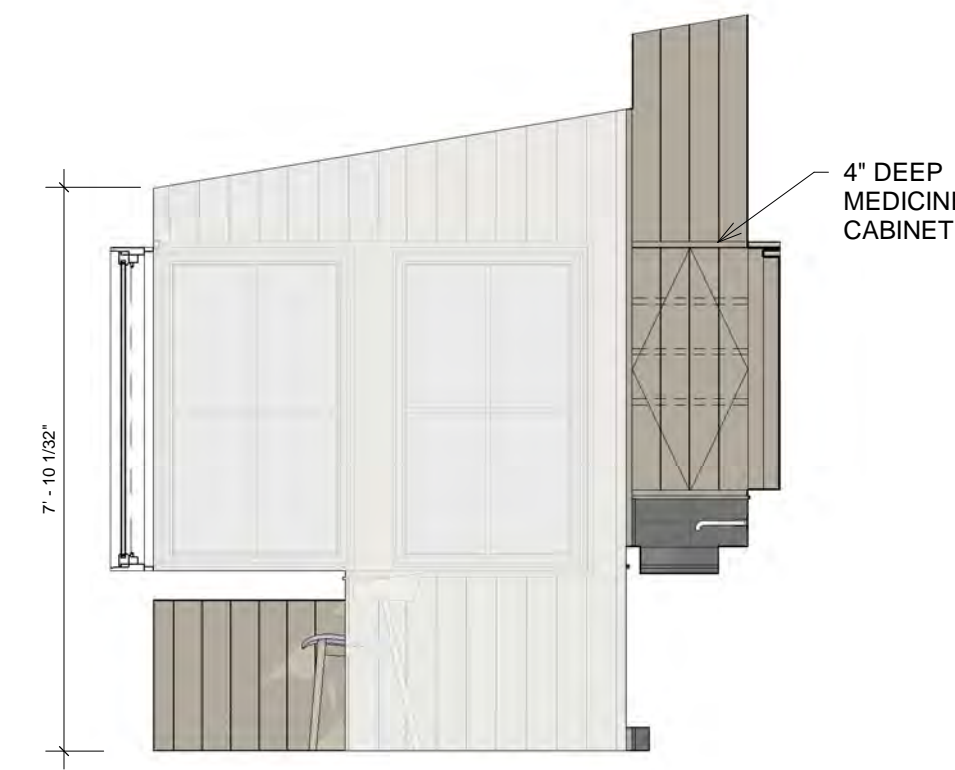
2 Primary Bathroom\_East @ Vanity  
3/8" = 1'-0"



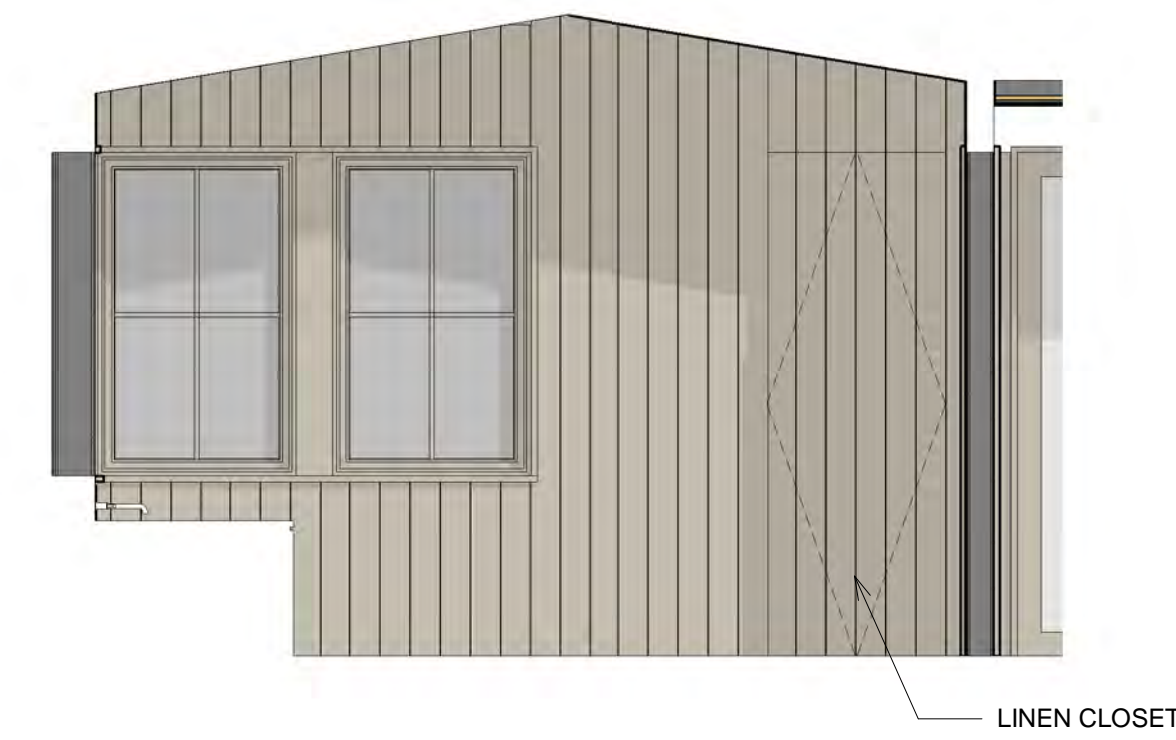
3 Primary Bathroom\_South  
3/8" = 1'-0"



10 Enlarged Plan\_Primary Bath  
3/8" = 1'-0"



4 Primary Bathroom\_West @ Vanity  
3/8" = 1'-0"



11 Primary Bath\_West  
3/8" = 1'-0"



8 primary bath view 1



5 primary bath view 2



7 primary bath view 3



6 primary bath view 4



9 primary bath view 5

- ITEMS UPDATED:**
- CEILINGS NOW WHITE
  - CEILING SLOPED DOWN TOWARDS HALL (OTHERWISE TOO TALL), ALIGNS WITH HALLWAY 8' CEILING
  - WOOD AT TUB BACKSPLASH
  - CHANGED WINDOW SPACING TO BE CENTERED ON VANITY
  - TUB CENTERED WINDOWS
  - TUB FAUCET CENTERED ON GANGED WINDOWS
  - DEEPER OPEN SHELVING (TO HOLD PLANTS, TOWELS)
  - MEDICINE CABINETS ENCLOSED
  - RAISED PORTION FOR DESK/MAKEUP AREA
  - SHOWER SMALLER TO ACCOMMODATE LARGER LAUNDRY
  - FLIPPED SHOWER HEAD AND BENCH LOCATIONS
  - ADDED TOWEL BARS
- COMMENTS:**
- BASEBOARD AT PANELING?

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SCALE: 3/8" = 1'-0"

DATE: 12.13.2023

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Odenborg - Stupnitsky Residence

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Interior Elevations\_Primary Bath

A4.6



Main House Window & Exterior Door Schedule							
Level	Type Mark	Width	Height	Head Height	Count	Window Type	Tempered
Level -0.5	4-C-t	2' - 9"	4' - 6"	7' - 0"	6	casement	yes
Level -0.5	4-F-t	2' - 9"	4' - 6"	7' - 0"	2	fixed	yes
Level -0.5	7-A-t-fr	2' - 9"	2' - 2"	7' - 0"	1	awning - frosted	yes
Level 1	1-F	2' - 7 1/2"	1' - 6"	12' - 1"	8	fixed	
Level 1	2-FD-t	2' - 9"	7' - 0"	<varies>	7	french door	yes
Level 1	3-A	5' - 6"	1' - 8"	7' - 0"	3	awning	
Level 1	3-F	5' - 6"	1' - 8"	7' - 0"	6	fixed	
Level 1	4-C	2' - 9"	4' - 6"	5' - 0"	6	casement	
Level 1	4-F	2' - 9"	4' - 6"	<varies>	3	fixed	
Level 1	4-F-t	2' - 9"	4' - 6"	7' - 0"	1	fixed	yes
Level 1	5-F	8' - 3"	1' - 8"	7' - 0"	1	fixed	
Level 1	6-C	2' - 9"	3' - 8"	5' - 0"	2	fixed	
Level 1	6-C-t	2' - 9"	3' - 8"	7' - 0"	2	casement	yes
Level 1	6-F	2' - 9"	3' - 8"	7' - 0"	3	fixed	
Level 1	7-F-t	2' - 9"	2' - 2"	7' - 0"	3	fixed	yes
Level 1	8-DD-t	2' - 9"	3' - 8"	7' - 0"	1	dutch door	yes
Level 1.5	2-FD-t	2' - 9"	7' - 0"	7' - 0"	1	french door	yes
Level 1.5	4-C	2' - 9"	4' - 6"	7' - 0"	18	casement	
Level 1.5	4-C-t	2' - 9"	4' - 6"	7' - 0"	4	casement	yes
Level 1.5	4-F	2' - 9"	4' - 6"	7' - 0"	1	fixed	
Level 1.5	7-F-t	2' - 9"	2' - 2"	<varies>	8	fixed	yes
Level 2	2-FD-t	2' - 9"	7' - 0"	7' - 2"	4	<varies>	<varies>
Level 2	4-C	2' - 9"	4' - 6"	7' - 6"	4	casement	
Level 2	4-F	2' - 9"	4' - 6"	7' - 6"	2	<varies>	
Level 2	7-A-t	2' - 9"	2' - 2"	7' - 6"	3	awning	yes

Guest House Window & Exterior Door Schedule							
Level	Type Mark	Width	Height	Head Height	Count	Window Type	Tempered
G.H. Level 1	3-F	5' - 6"	1' - 8"	6' - 8"	4	fixed	
G.H. Level 1	4-C	2' - 9"	4' - 6"	6' - 8"	7	casement	
G.H. Level 1	4-F	2' - 9"	4' - 6"	6' - 8"	1	fixed	
G.H. Level 1	7-A-t	2' - 9"	2' - 2"	6' - 8"	1	awning	yes
G.H. Level 1	9-FD-t	2' - 9"	6' - 8"	6' - 8"	1	french door	yes
Level 2	2-FD-t	2' - 9"	7' - 0"	7' - 2"	2		



ISSUE
DATE

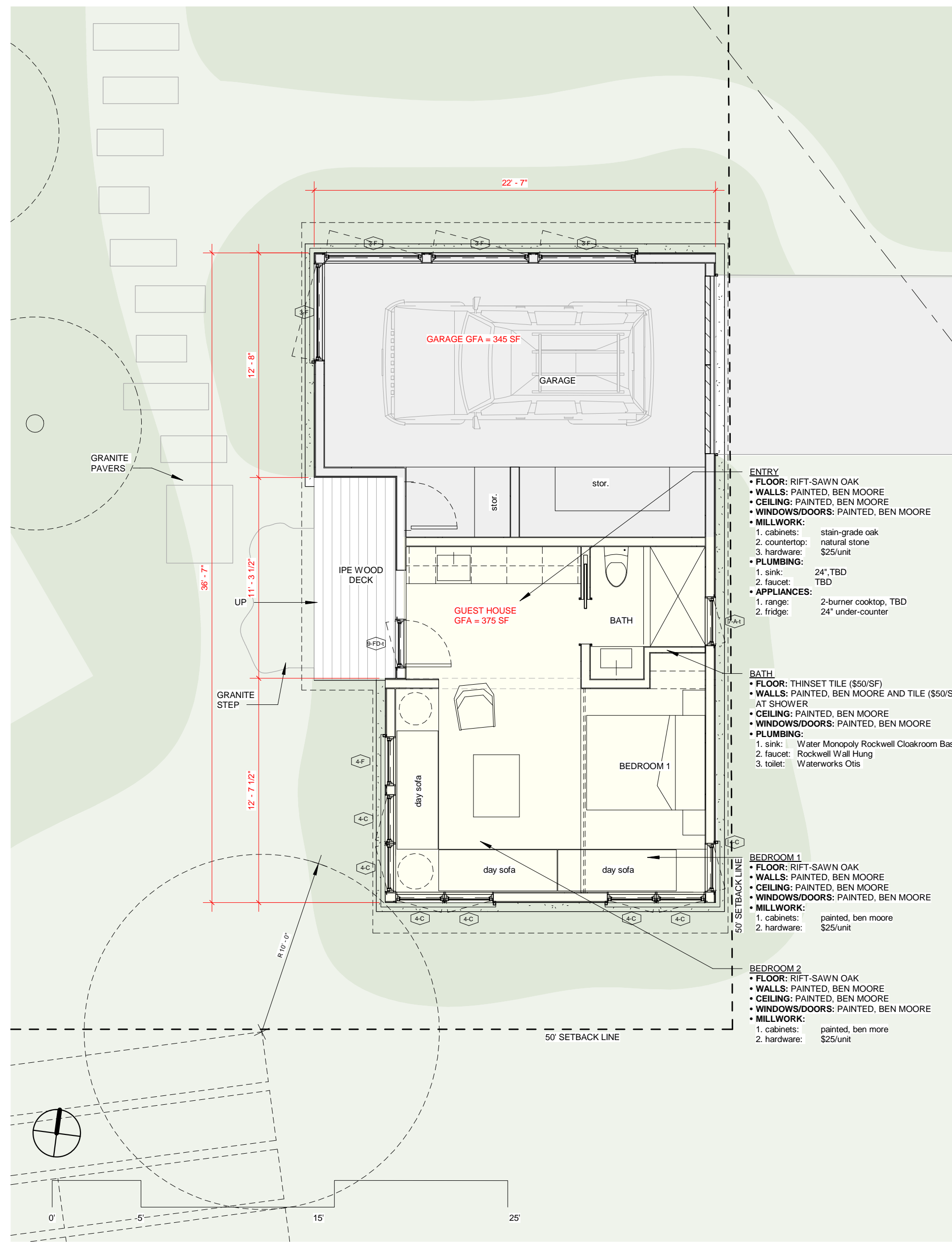
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DATE: 12.13.2023
DRAWN BY: MLA

**MOSKOW LINN ARCHITECTS, INC.**  
 88 BROAD STREET, BOSTON, MA 02110  
 Tel: 617.992.2000 Fax: 617.426.4701  
 WWW.MOSKOWLINN.COM

Odenborg - Stupnitsky Residence  
 26 Chappaquiddick Ave, West Tisbury MA 02568  
 Window & Exterior Door Schedules

**A5.0**

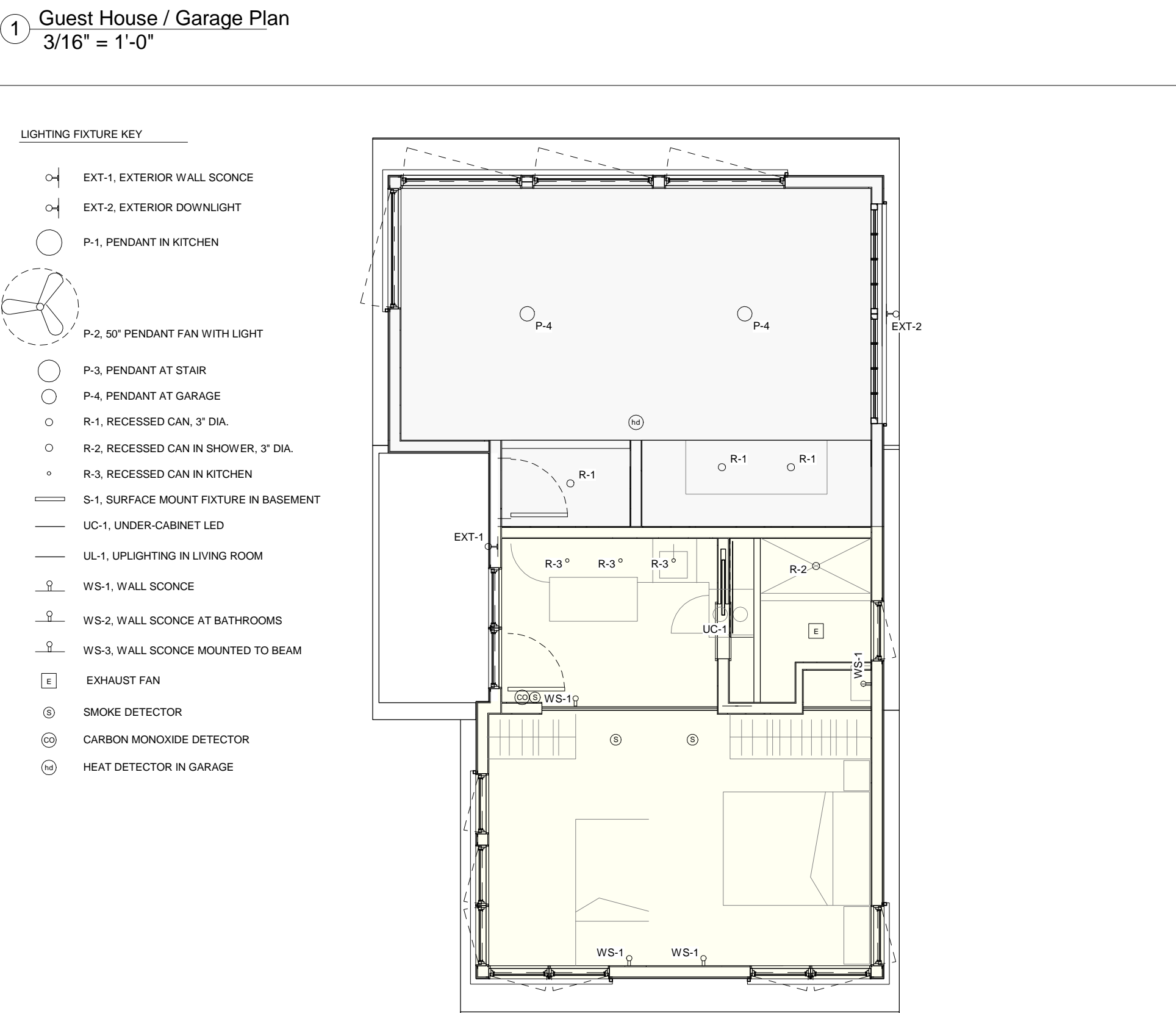
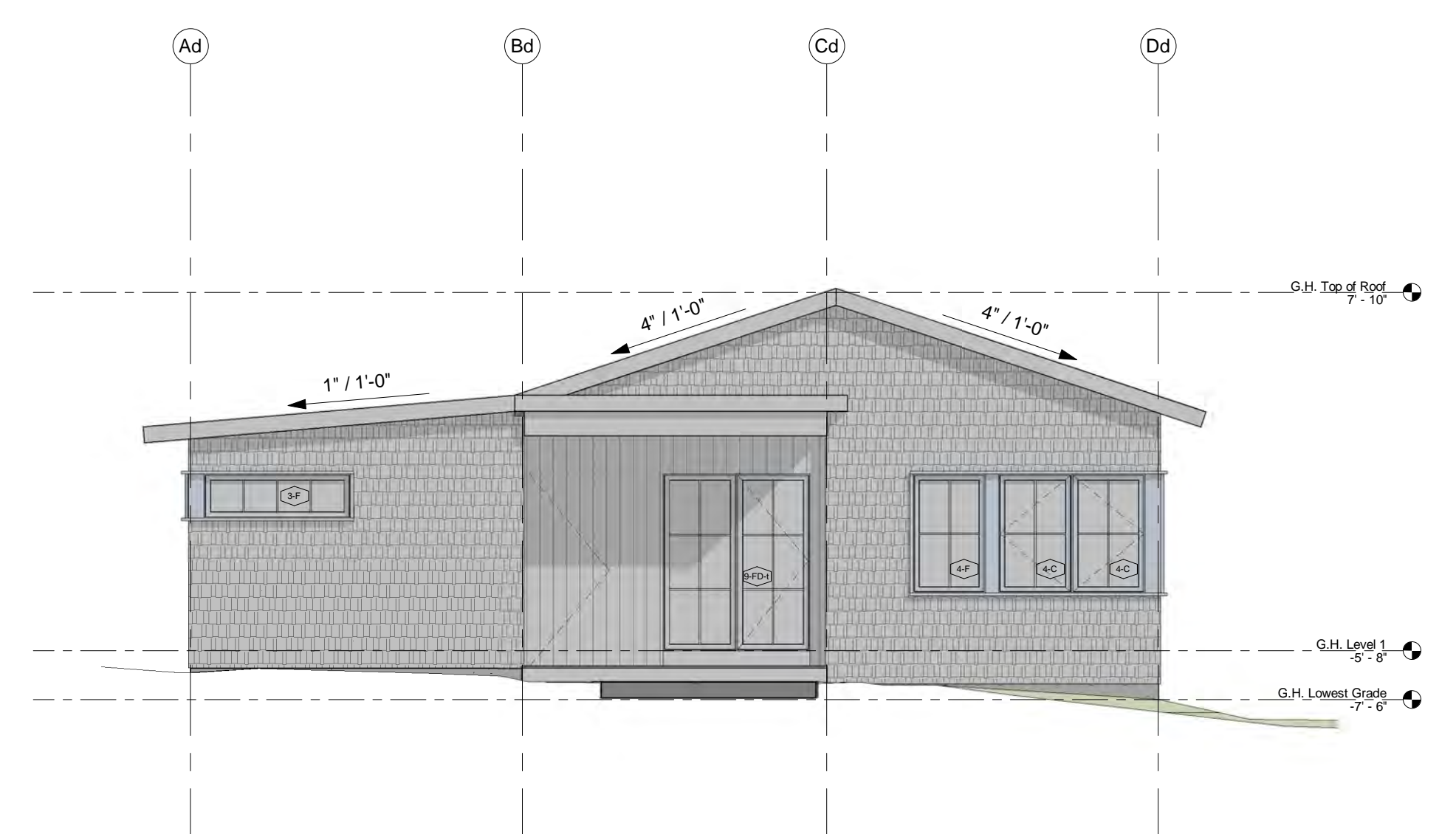
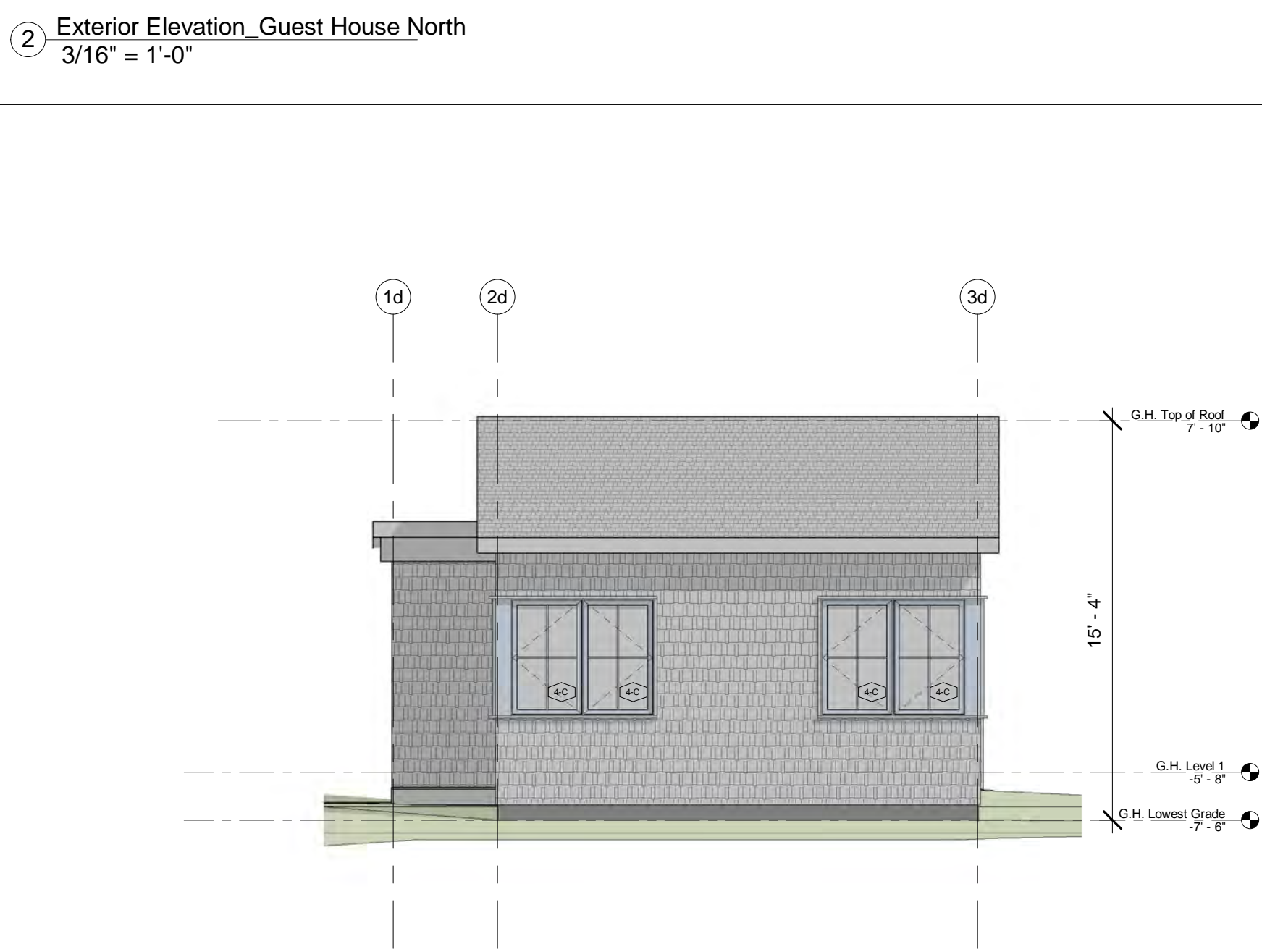
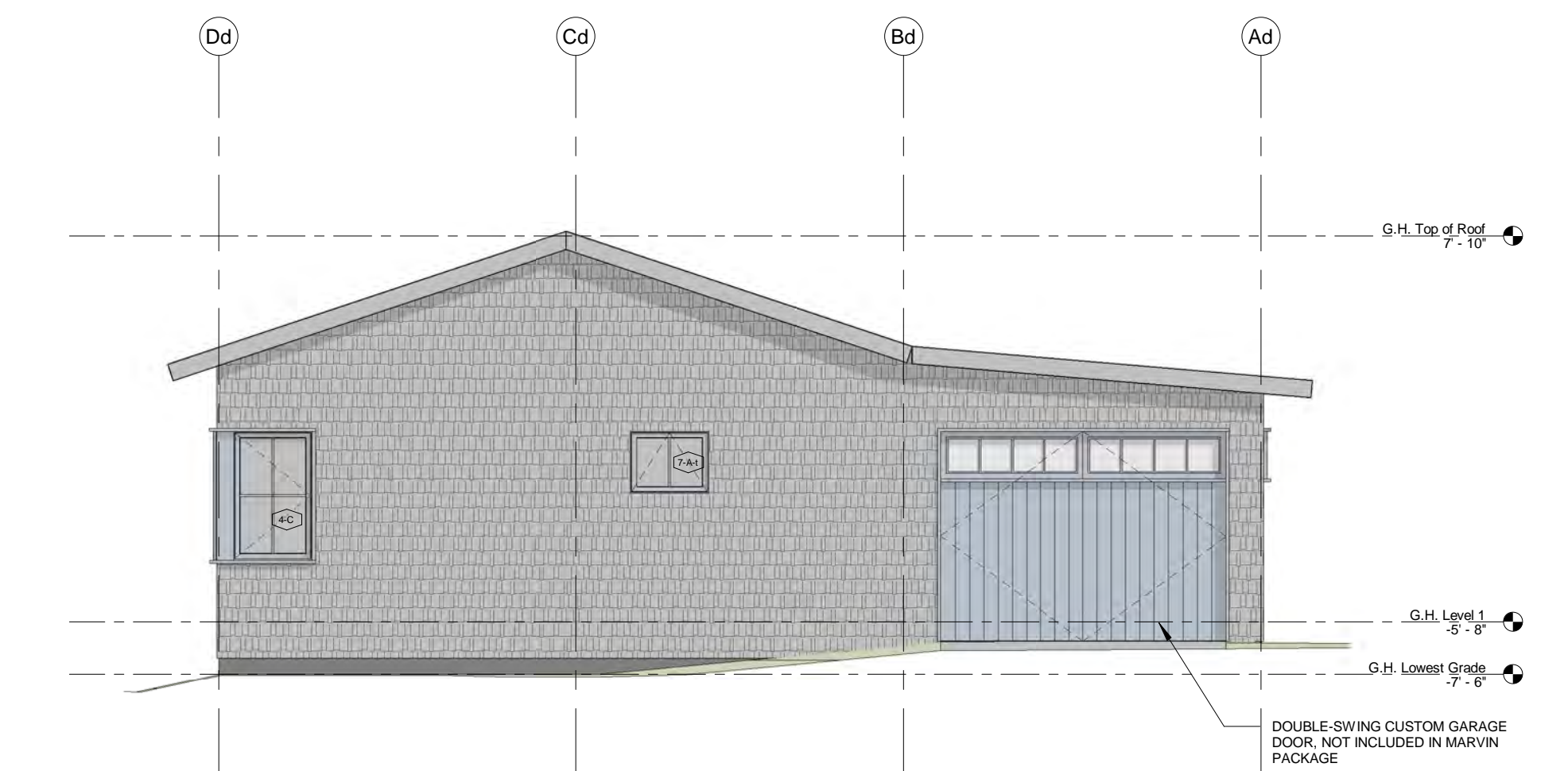
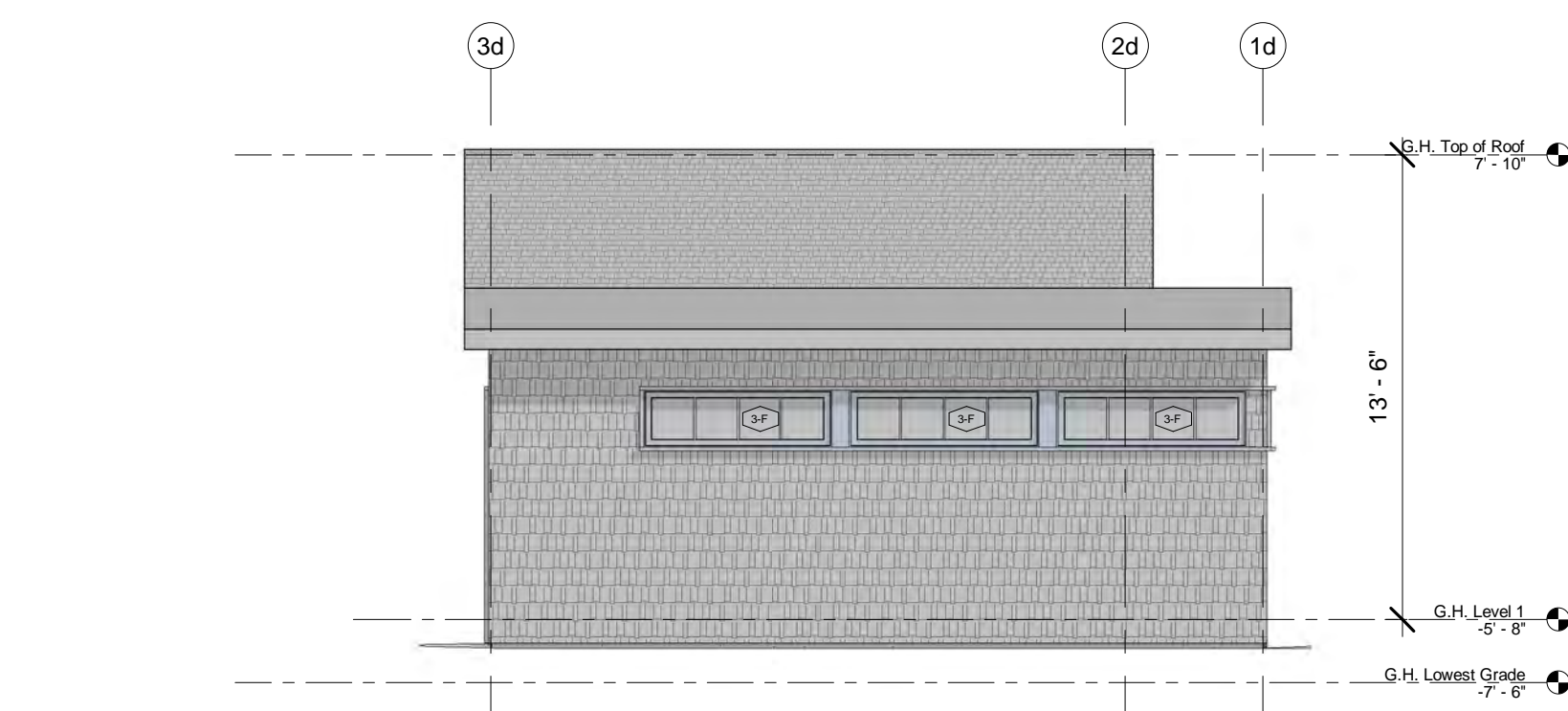




**GENERAL NOTES**

**EXTERIOR**

- **ROOF:** 1. MAIN ROOF: ALASKAN CEDAR SHINGLES 2. ROOF AT LIGHT MONITORS (LOW SLOPE): FLAT SEAM METAL
- **SIDING:** 1. PRIMARY: ALASKAN CEDAR SHINGLES, TO WEATHER NATURALLY 2. SECONDARY: VERTICAL ALASKAN CEDAR BOARDS, TO WEATHER NATURALLY
- **WINDOWS:** MARVIN SIGNATURE ULTIMATE, STAINED WOOD OR PAINTED WOOD AT INTERIOR
- **WINDOW HARDWARE:** Unlacquered Brass (Balwin or Similar)



- LIGHTING FIXTURE KEY**
- EXT-1, EXTERIOR WALL SCONCE
  - EXT-2, EXTERIOR DOWNLIGHT
  - P-1, PENDANT IN KITCHEN
  - P-2, 50" PENDANT FAN WITH LIGHT
  - P-3, PENDANT AT STAIR
  - P-4, PENDANT AT GARAGE
  - R-1, RECESSED CAN, 3" DIA.
  - R-2, RECESSED CAN IN SHOWER, 3" DIA.
  - R-3, RECESSED CAN IN KITCHEN
  - S-1, SURFACE MOUNT FIXTURE IN BASEMENT
  - UC-1, UNDER-CABINET LED
  - UL-1, UPLIGHTING IN LIVING ROOM
  - WS-1, WALL SCONCE
  - WS-2, WALL SCONCE AT BATHROOMS
  - WS-3, WALL SCONCE MOUNTED TO BEAM
  - EXHAUST FAN
  - SMOKE DETECTOR
  - CARBON MONOXIDE DETECTOR
  - HEAT DETECTOR IN GARAGE



ISSUE
DATE

SCALE: 3/16" = 1'-0"
DATE: 12.13.2023
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**MOSKOW LINN ARCHITECTS, INC.**  
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Odenborg - Stupnitsky Residence  
26 Chappaquiddick Ave., West Tisbury MA 02568  
Garage/Guest House\_Floor Plans & Elevations

A7.0



**GENERAL CONDITIONS**

- GENERAL CONTRACTOR TO CONSTRUCT FRAMING AS REPRESENTED IN THE STRUCTURAL DRAWINGS, COORDINATE WITH ARCHITECTURAL PLANS, AND FOLLOW STANDARD BUILDING PRACTICE. GENERAL CONTRACTOR RESPONSIBLE FOR IDENTIFYING AND CONFLICTS REPRESENTED IN THE FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
- FOR RENOVATION WORK STRUCTURAL DRAWINGS PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED.
- FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

**FOUNDATIONS**

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THAT THE EXISTING FOUNDATION CONFORMS TO BUILDING CODE REQUIREMENTS AND REPORT FOOTING CONDITIONS TO ENGINEER FOR VERIFICATION.
- EXCAVATE AND GRADES REQUIRING TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE STRUCTURAL ENGINEER.
- SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
- BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 8" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
- BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

**CONCRETE**

- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE TO ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
- REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40 WELDED WIRE FABRIC - ASTM A185.

**STRUCTURAL STEEL**

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION.
- STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992, WITH A MINIMUM YIELD STRENGTH OF 50 KSI. PLATES, ANGLES, CHANNELS, AND MISC. FABRICATED HARDWARE SHALL CONFORM TO ASTM A36, WITH A MINIMUM YIELD STRENGTH OF 36 KSI. RECTANGULAR STEEL TUBING SHALL CONFORM TO ASTM A500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46 KSI.
- ALL STEEL TO STEEL FIELD CONNECTIONS SHALL BE MADE BY HIGH STRENGTH BOLTING WITH ASTM A325 BOLTS OR WELDING WITH E70 XX ELECTRODES. STEEL TO CONCRETE AND STEEL TO WOOD FIELD CONNECTIONS MAY BE MADE WITH ASTM A 307 BOLTS.
- STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYL PRIMER UNLESS OTHERWISE NOTED.
- NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT AND ENGINEER FOR APPROVAL.

**LATERAL FRAMING NOTES**

- THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301.1.3 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
- FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
- ALL EXTERIOR WALLS TO FOLLOW SHEARWALL SHEATHING CRITERIA. SHEARWALLS CONSTRUCTION: SHEATHING TO BE 1/2" APA RATED SHEATHING TO BE ATTACHED TO THE WALL STUDS WITH 8d NAILS @ 4" OC AROUND EDGES & 8" OC IN FIELDS.
- HOLD-DOWNS TO BE HDUS BY SIMPSON AND SHALL BE ATTACHED TO A MIN OF 2-2x STUDS THREADED ROD TO BE 5/8" AND EPOXY SHALL BE SIMPSON SET-XP.
- ALL PLYWOOD SEAMS IN A SHEARWALL SHALL BE BLOCKED WITH DIMENSIONAL LUMBER OF THE SAME SIZE AS THE WALL STUDS.
- REFER TO PLANS AND SECTIONS FOR STUD SIZES, STUDS SHALL BE SPACED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE ON PLAN.
- CARE SHOULD BE TAKEN TO ADJUST NAIL GUN PRESSURE SO AS TO NOT OVER DRIVE NAILS INTO PLYWOOD. NAIL HEADS SHOULD BE FLUSH WITH PLYWOOD FACE. OVER DRIVING NAILS GREATLY REDUCES THE EFFECTIVENESS OF THE SHEARWALL.
- FOR FRAMING SIZES REFER TO FRAMING PLANS.

**ROUGH CARPENTRY**

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE 9TH EDITION OF THE MASSACHUSETTS BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS (MBC 1&2) AND THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC 1&2).
- REFER TO THE MBC 1&2 AND IRC 1&2 FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC 1&2 AND IRC 1&2 OR IN THESE DRAWINGS.
- REFER TO THE IRC 1&2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 602.3 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS.
- ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fv = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3100 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- LSL JOIST TO BE LAMINATED STRAND LUMBER BY TRUSJOIST OR EQUIVALENT. MINIMUM MATERIAL PROPERTIES TO BE Fb=2,300 PSI, Emin=1,550,000 PSI Fv=300 PSI.
- WOOD I-JOISTS SHALL BE BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
- ENGINEERED WOOD POSTS (VERSA COLUMNS), AS NOTED ON PLANS, SHALL BE VERSA-LAM 1.7 2650.
- PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 5/8" THICK AND WALL SHEATHING SHALL BE 1/2" THICK.
- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE-TREATED.
- ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN CAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING. HANGERS UNLESS NOTED OTHERWISE ARE AS FOLLOWS:  
 CONVENTIONAL 2x (KD) JOISTS LUSxx  
 CONVENTIONAL MULTI 2x (KD) BEAMS HUHxx  
 I-JOISTS IUSxx  
 LVL SINGLE PLY MLUxx  
 LVL 2 SINGLE PLY HLxx  
 LVL 3 PLY HGUxx  
 BEAMS TO COLUMNS (DIRECT CONTACT) 2-LCE4
- UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL BE UNINTERRUPTED FROM THE FINISHED FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR JOIST BEARING.
- BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2" BOLTS AT 16" ON CENTER OR 3-1/4" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES. FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITIONS WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
- MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLAN.

**DESIGN LOADS PER MASSACHUSETTS STATE BUILDING CODE**

**LIVE LOADS**

GROUND SNOW LOAD:	40 PSF
UNINHABITABLE ATTICS WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE:	20 PSF
HABITABLE ATTICS AND SLEEPING AREAS:	30 PSF
ALL OTHER AREAS:	40 PSF

**WIND LOADS**

MASSACHUSETTS STATE BUILDING CODE: 100 MPH, EXPOSURE B

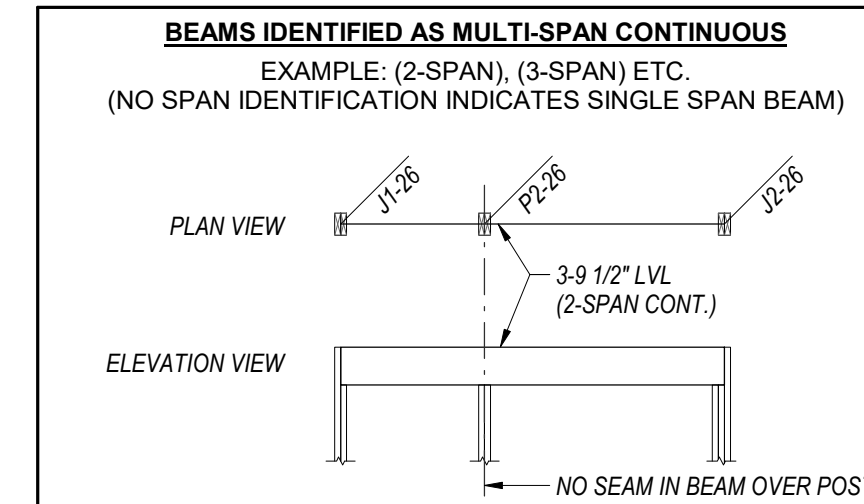
**DEAD LOAD**

WEIGHTS OF MATERIALS AND CONSTRUCTION PHOTOVOLTAIC PANEL SYSTEMS: 5 PSF

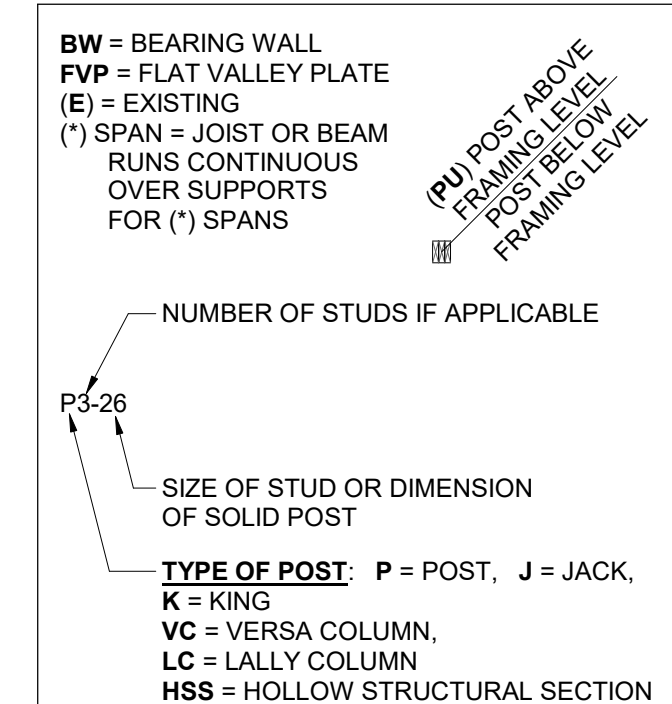
**ABBREVIATIONS:**

ADDL - ADDITIONAL	JST - JOIST
BLKG - BLOCKING	LSL - LAMINATED STRAND LUMBER
BM - BEAM	LVL - LAMINATED VENEER LUMBER
BTM - BOTTOM	LW - LONG WAY
BRG - BEARING	MAX - MAXIMUM
BTWN - BETWEEN	MIN - MINIMUM
BW - BEARING WALL	MFR - MANUFACTURER
CLG - CEILING	NTS - NOT TO SCALE
COL - COLUMN	OC - ON CENTER
CONC - CONCRETE	PL - PLATE
CONN - CONNECTION	PT - PRESSURE TREATED
CONT - CONTINUOUS	REQ - REQUIRED
DIAG - DIAGONAL	SPEC - SPECIFICATION
DN - DOWN	SW - SHEAR WALL
EQSP - EQUAL SPACES	TFN - TOP FLANGE NAILER
EF - EACH FACE	TYP - TYPICAL
EW - EACH WAY	UON - UNLESS OTHERWISE NOTED
FDN - FOUNDATION	VERT - VERTICAL
FIN - FINISH	WI - WITH
FLG - FLANGE	STRUCTURAL GRADE WOOD SCREW 3/8"Ø
FTG - FOOTING	UNLESS OTHERWISE NOTED,
HORIZ - HORIZONTAL	SIMPSON SDS OR TIMBERLOK OR SIMILAR
HDR - HEADER	

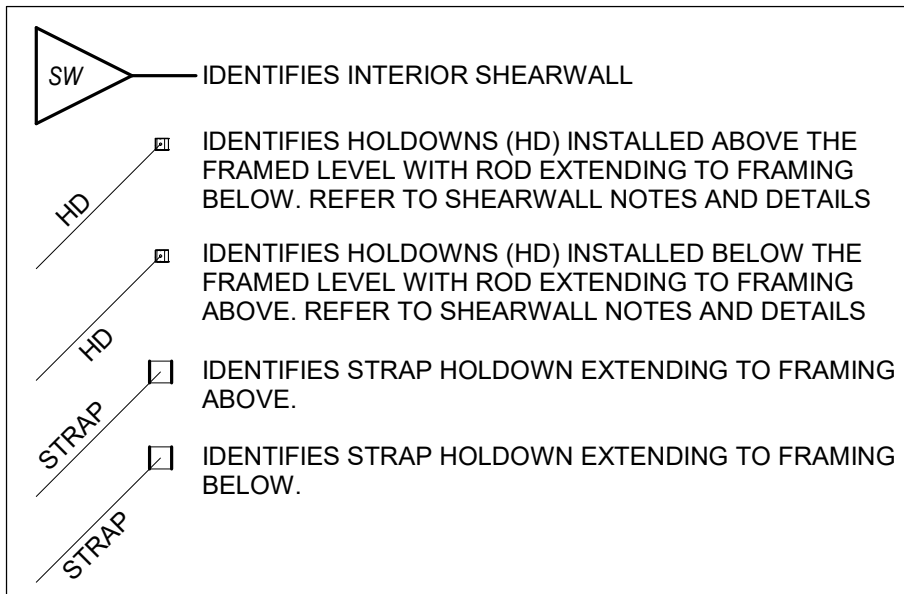
**MULTIPLE SPAN BEAM LEGEND**



**POST LEGEND**



**LATERAL FRAMING LEGEND**

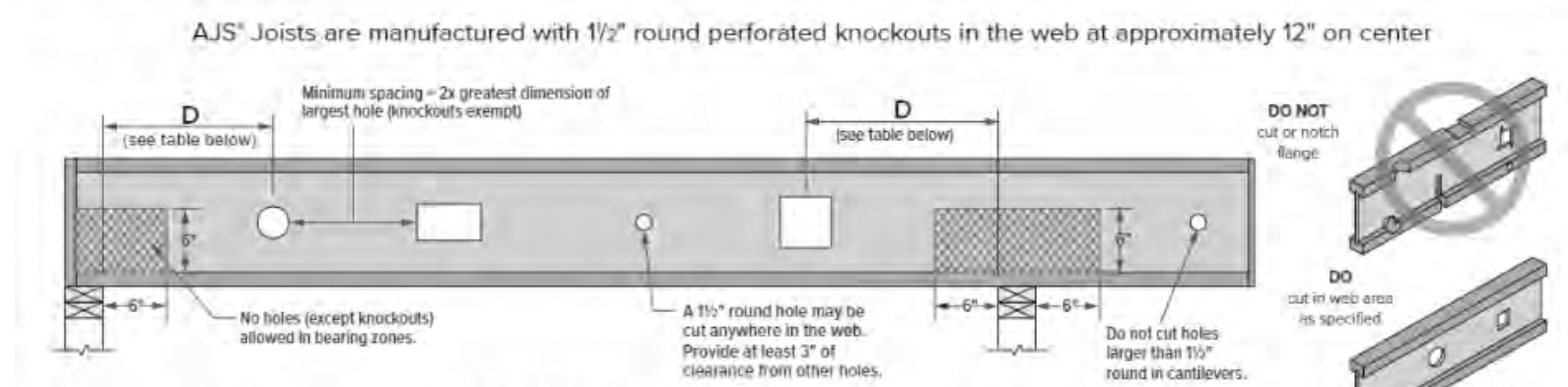


**I-JOIST ACCEPTABLE ALTERNATIVES**

JOIST SERIES	DEPTH	FLANGE	ACCEPTABLE ALTERNATIVES			MIN. EI MOMENT AND SHEAR			
			TJI	NORDIC	LPI	GP	EI x 106 [lb-in <sup>2</sup> ]	Moment [R-lbs]	Shear [lbs]
AJS 140	9-1/2"	2-1/2" FR	TJI 210	NORDIC NI-40x	LPI 20 PLUS	GP 40 / W40	182	2450	1160
AJS 20	9-1/2"	2-1/2" FR	TJI 210	NORDIC NI-60	LPI 32 PLUS		232	3395	1160
BCI 6500s 1.8	9-1/2"	2-9/16" LVL	TJI 210	NORDIC NI-60	LPI 32 PLUS		220	3505	1575
AJS 25	9-1/2"	3-1/2" FR	TJI 210	NORDIC NI-80	LPI 42 PLUS		322	5370	1160
AJS 140	11-7/8"	2-1/2" FR	TJI 210	NORDIC NI-40x	LPI 20 PLUS	GP 40 / W40	310	3175	1490
AJS 20	11-7/8"	2-1/2" FR	TJI 360	NORDIC NI-60	LPI 32 PLUS	WI 60	394	4400	1490
BCI 6500s 1.8	11-7/8"	2-5/16" LVL	TJI 360	NORDIC NI-60	LPI 32 PLUS	WI 60	365	4495	1675
BCI 60s 2.0	11-7/8"	2-5/16" LVL	TJI 560	NORDIC NI-80	LPI 42 PLUS	WI 80	450	6235	1675
AJS 25	11-7/8"	3-1/2" FR	TJI 560	NORDIC NI-80	LPI 42 PLUS	WI 80	545	6960	1490
BCI 90s 2.0	11-7/8"	3-1/2" LVL	TJI 560	NORDIC NI-80	LPI 56		675	9550	2150
AJS 140	14"	2-1/2" FR	TJI 210	NORDIC NI-40x	LPI 20 PLUS	GP 40 / W40	457	3825	1790
AJS 20	14"	2-1/2" FR	TJI 360	NORDIC NI-60	LPI 32 PLUS	WI 60	578	5295	1790
BCI 6500s 1.8	14"	2-9/16" LVL	TJI 230	NORDIC NI-60	LPI 32 PLUS	WI 60	365	4495	1675
BCI 60s 2.0	14"	2-5/16" LVL	TJI 360	NORDIC NI-80	LPI 36	WI 80	450	6235	1675
AJS 25	14"	3-1/2" FR	TJI 560	NORDIC NI-80	LPI 42 PLUS	WI 80	798	8380	1790
BCI 90s 2.0	14"	3-1/2" LVL	TJI 560	NORDIC NI-90	LPI 42 PLUS	WI 80	675	9550	2150
AJS 140	16"	2-1/2" FR	TJI 210	NORDIC NI-60	LPI 20 PLUS	WI 60	623	4435	2085
AJS 20	16"	2-1/2" FR	TJI 360	NORDIC NI-60	LPI 32 PLUS	WI 60	786	6140	2065
BCI 6500s 1.8	16"	2-5/16" LVL	TJI 360	NORDIC NI-60	LPI 32 PLUS	WI 60	720	6085	2175
BCI 60s 2.0	16"	2-5/16" LVL	TJI 560	NORDIC NI-80	LPI 42 PLUS	WI 80	895	8520	2175
AJS 25	16"	3-1/2" FR	TJI 560	NORDIC NI-80	LPI 42 PLUS	WI 80	1082	9720	2065
BCI 90s 2.0	16"	3-1/2" LVL	TJI 560	NORDIC NI-90	LPI 42 PLUS	WI 80	1330	13050	2550

NOTE: FOR ALTERNATIVE NOT SHOWN REFER TO MINIMUM DESIGN PROPERTIES

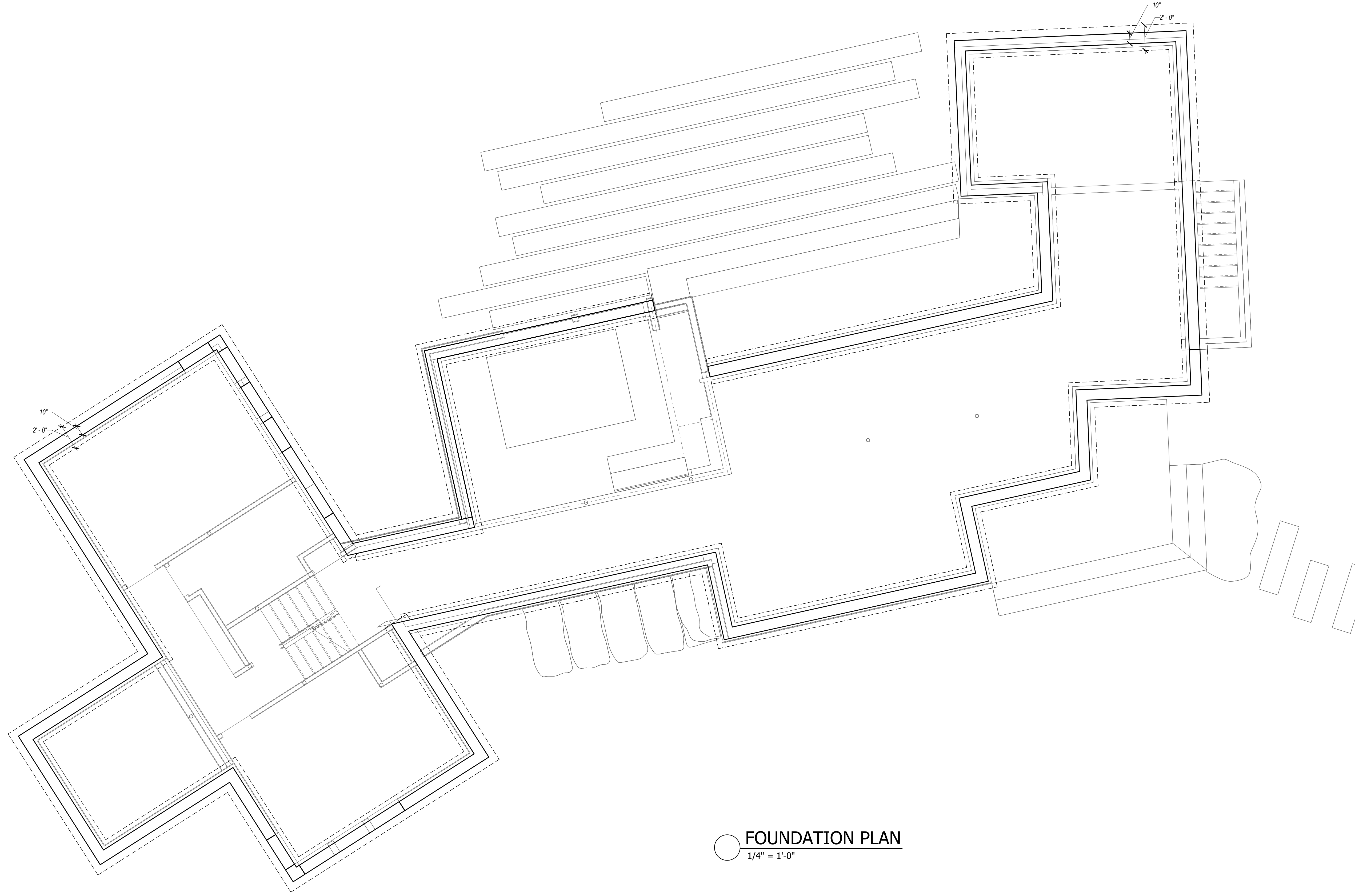
**AJS® Joist Hole Location & Sizing**



Minimum distance from support, listed in table below, is required for all holes greater than 1 1/2"

Round Hole Diameter [in]	2	3	4	5	6	6 1/2	7	8	8 1/2	9	10	11	12	13		
Rectangular Hole Side [in]	-	-	2	4	6	6	-	-	-	-	-	-	-	-		
Any 9 1/2" Joist	Span [ft]	8	2'-0"	2'-5"	2'-11"	3'-5"	3'-10"	4'-0"								
	Span [ft]	12	3'-0"	3'-8"	4'-5"	5'-1"	5'-10"	6'-0"								
	Span [ft]	16	4'-0"	4'-11"	5'-11"	6'-10"	7'-9"	8'-0"								
Any 11 1/2" Joist	Span [ft]	8	1'-0"	1'-5"	1'-10"	2'-3"	2'-8"	2'-11"	3'-1"	3'-6"	3'-11"					
	Span [ft]	12	1'-5"	2'-1"	2'-9"	3'-5"	4'-0"	4'-4"	4'-8"	5'-4"	5'-11"					
	Span [ft]	16	1'-11"	2'-10"	3'-8"	4'-6"	5'-5"	5'-10"	6'-3"	7'-1"	7'-10"					
Any 14" Joist	Span [ft]	20	2'-5"	3'-6"	4'-7"	5'-8"	6'-9"	7'-3"	7'-10"	8'-11"	9'-10"					
	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-4"	1'-8"	1'-11"	2'-1"	2'-6"	2'-10"	2'-11"	3'-4"	3'-9"		
	Span [ft]	12	1'-0"	1'-1"	1'-4"	2'-0"	2'-7"	2'-11"	3'-2"	3'-10"	4'-4"	4'-5"	5'-0"	5'-7"		
Any 16" Joist	Span [ft]	16	1'-0"	1'-1"	1'-10"	2'-8"	3'-5"	3'-10"	4'-3"	5'-1"	5'-9"	5'-11"	6'-8"	7'-6"		
	Span [ft]	20	1'-0"	1'-3"	2'-4"	3'-4"	4'-4"	4'-10"	5'-4"	6'-4"	7'-3"	7'-4"	8'-5"	9'-5"		
	Span [ft]	24	1'-0"	1'-7"	2'-9"	4'-0"	5'-2"	5'-10"	6'-5"	7'-8"	8'-8"	8'-10"	10'-1"	11'-3"		
Any 18" Joist	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-7"	2'-9"	3'-4"	3'-11"	5'-1"	6'-1"	6'-3"	7'-4"	8'-6"	9'-8"	10'-0"
	Span [ft]	12	1'-0"	1'-1"	1'-2"	1'-4"	1'-8"	1'-11"	2'-6"	3'-0"	3'-1"	3'-8"	4'-3"	4'-10"	5'-5"	
	Span [ft]	16	1'-0"	1'-1"	1'-2"	1'-2"	1'-10"	2'-2"	2'-7"	3'-4"	4'-0"	4'-2"	4'-11"	5'-8"	6'-5"	7'-2"
Any 20" Joist	Span [ft]	20	1'-0"	1'-1"	1'-2"	1'-4"	2'-3"	2'-9"	3'-3"	4'-3"	5'-1"	5'-2"	6'-2"	7'-1"	8'-1"	9'-0"
	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-7"	2'-9"	3'-4"	3'-11"	5'-1"	6'-1"	6'-3"	7'-4"	8'-6"	9'-8"	10'-0"
	Span [ft]	12	1'-0"	1'-1"	1'-2"	1'-4"	1'-8"	1'-11"	2'-6"	3'-0"	3'-1"	3'-8"	4'-3"	4'-10"	5'-5"	
Any 24" Joist	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-4"	2'-3"	2'-9"	3'-3"	4'-3"	5'-1"	5'-2"	6'-2"	7'-1"	8'-1"	9'-0"
	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-7"	2'-9"	3'-4"	3'-11"	5'-1"	6'-1"	6'-3"	7'-4"	8'-6"	9'-8"	10'-0"
	Span [ft]	12	1'-0"	1'-1"	1'-2"	1'-4"	1'-8"	1'-11"	2'-6"	3'-0"	3'-1"	3'-8"	4'-3"	4'-10"	5'-5"	
Any 30" Joist	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-7"	2'-9"	3'-4"	3'-11"	5'-1"	6'-1"	6'-3"	7'-4"	8'-6"	9'-8"	10'-0"
	Span [ft]	24	1'-0"	1'-1"	1'-2"	1'-7"	2'-9"	3'-4"	3'-11"	5'-1"	6'-1"	6'-3"	7'-4"	8'-6"	9'-8"	10'-0"
	Span [ft]	12	1'-0"	1'-1"	1'-2"</											





○ **FOUNDATION PLAN**  
1/4" = 1'-0"

- FOUNDATION NOTES:**
1. REFERENCE ARCHITECTURAL PLANS FOR FOUNDATION DIMENSIONS AND ELEVATIONS NOT SHOWN
  2. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT AND ENGINEER OF ANY TOP OF WALL ELEVATION AND DIMENSION DEVIATIONS BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS

S1.0

Odenborg - Stupnitsky Residence  
26 Chappaquiddick Ave, West Tisbury MA 02568  
Main House\_FOUNDATION PLAN

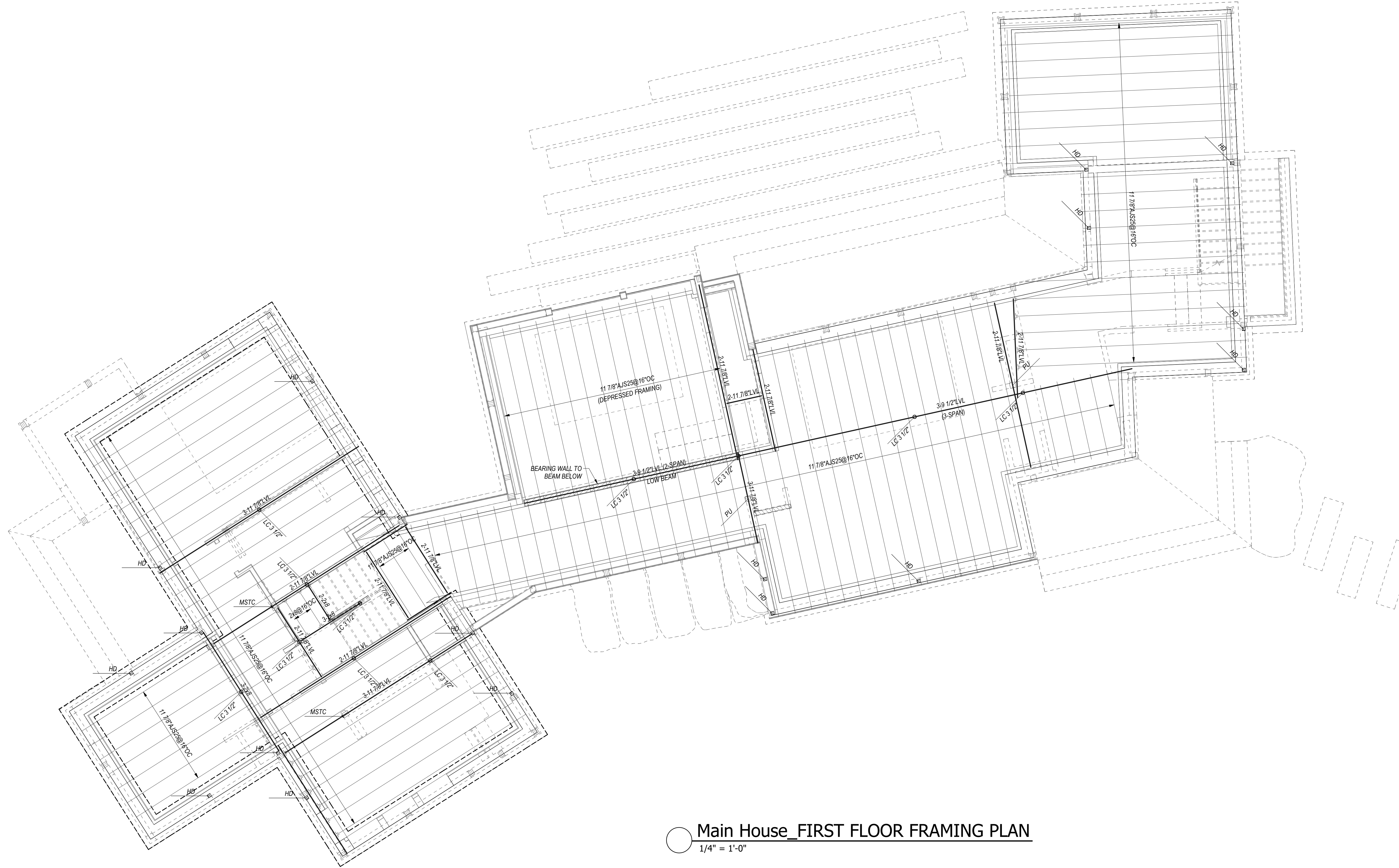


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SCALE: 1/4" = 1'-0"  
DATE: 10/20/23  
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DATE	ISSUE

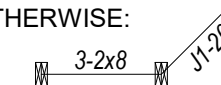




**Main House FIRST FLOOR FRAMING PLAN**  
1/4" = 1'-0"

**FLOOR FRAMING NOTES:**

1. ALL INDIVIDUAL LVL'S ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
2. BEAMS COMPRISED OF 3 LVL'S OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF (2)- 1/2" Ø BOLTS AT 16" OC OR (3)- 3/8" Ø WOOD SCREW @ 16" OC. ALTERNATING INSERTION SIDES. FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON PLAN.
3. HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:



4. SW SYMBOL DENOTES INTERIOR SHEAR WALL. ALL EXTERIOR WALLS TO FOLLOW SHEAR WALL CRITERIA

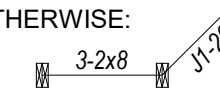




**Main House\_SECOND FLOOR FRAMING PLAN**  
1/4" = 1'-0"

**FLOOR FRAMING NOTES:**

1. ALL INDIVIDUAL LVLS ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
2. BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF (2)- 1/2"Ø BOLTS AT 16"OC OR (3)-3/8"Ø WOOD SCREW @16"OC, ALTERNATING INSERTION SIDES. FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON PLAN.
3. HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:



4. SYMBOL DENOTES INTERIOR SHEAR WALL. ALL EXTERIOR WALLS TO FOLLOW SHEAR WALL CRITERIA

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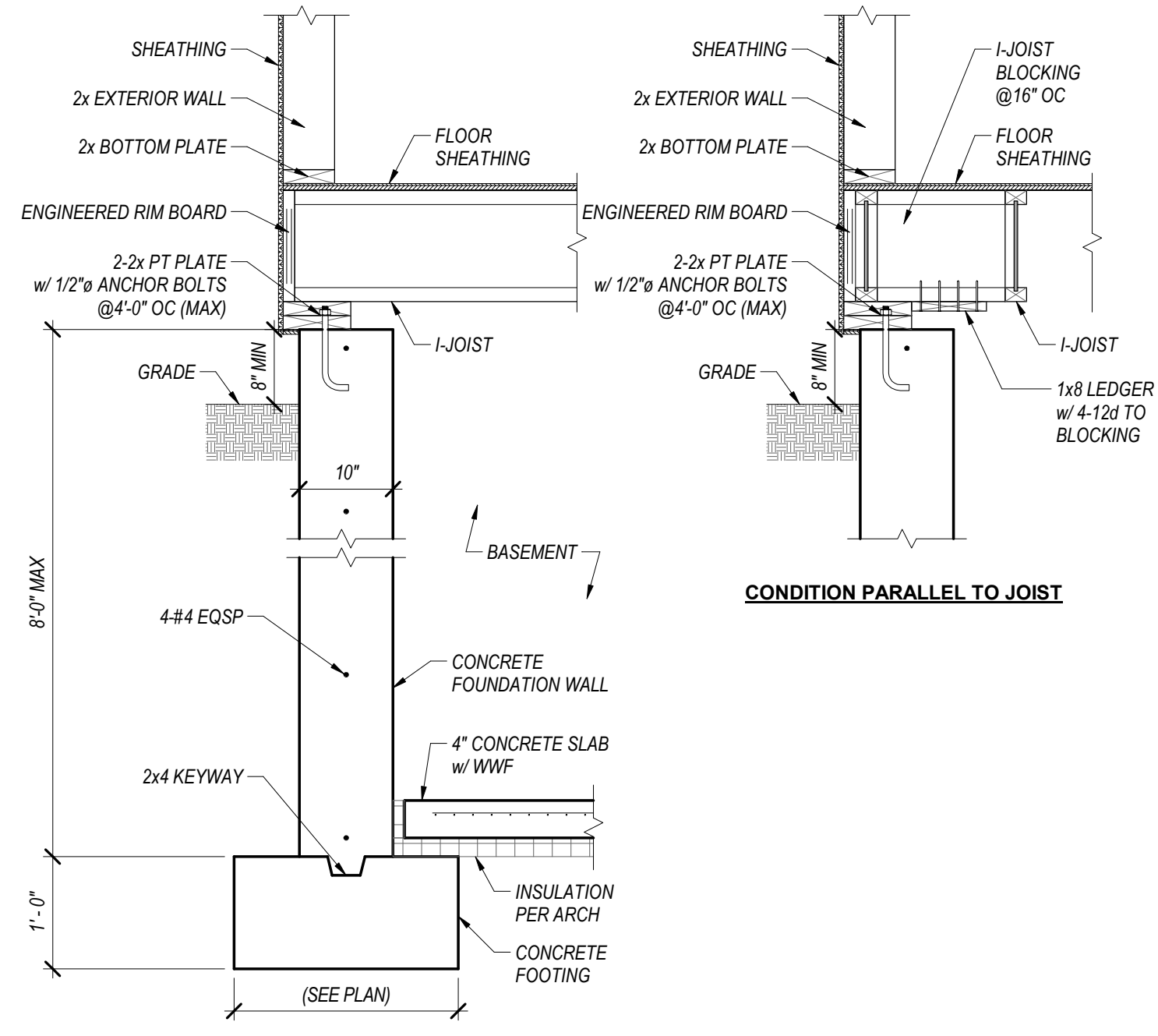
**Webb Structural Services**  
60 MAIN STREET | BOSTON, MA 02109 | TEL: 617.779.1319

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26 Chappaquiddick Ave, West Tisbury MA 02568  
Main House\_SECOND FLOOR FRAMING PLAN

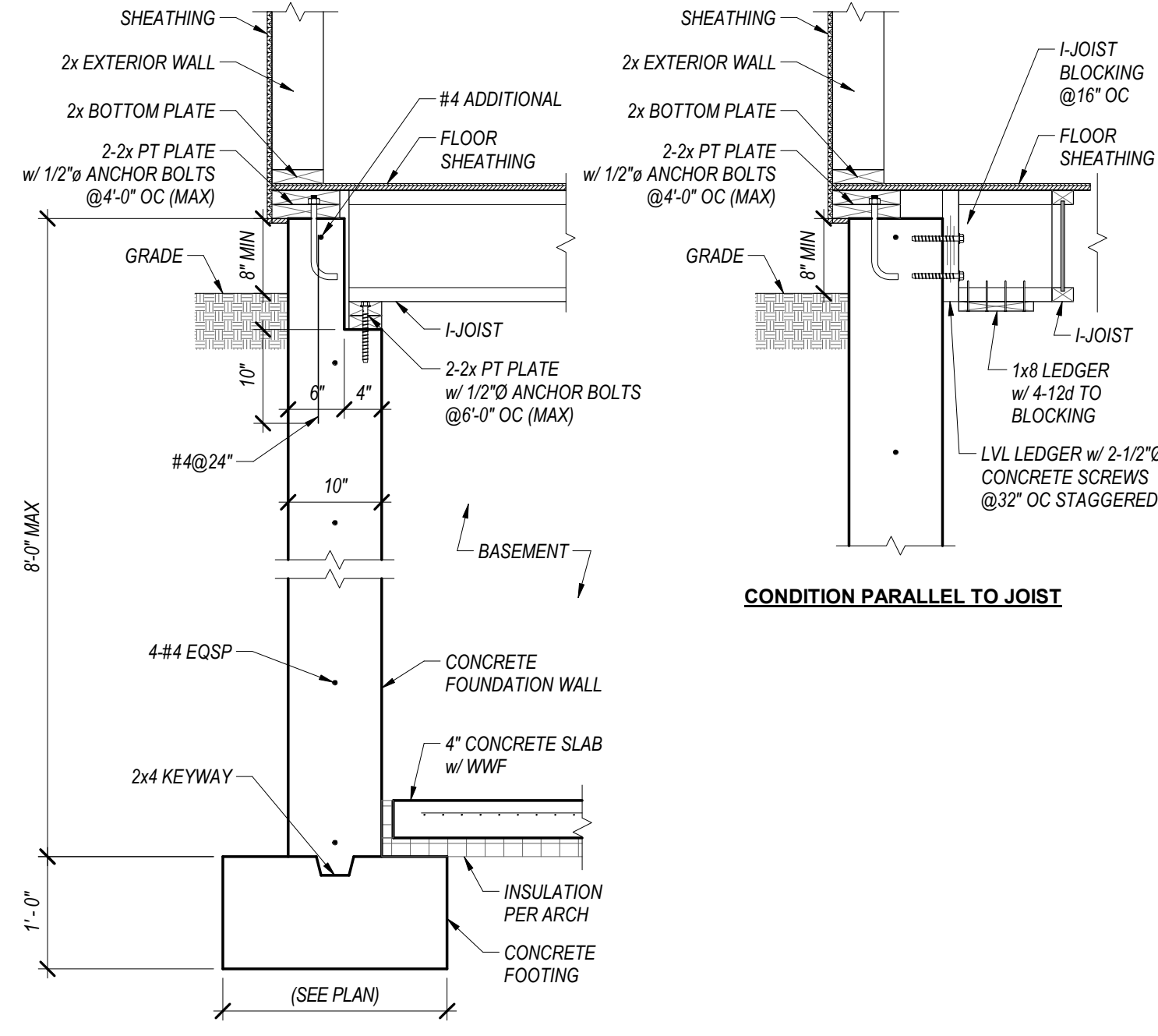








1 SECTION 3/4" = 1'-0"



2 SECTION 3/4" = 1'-0"

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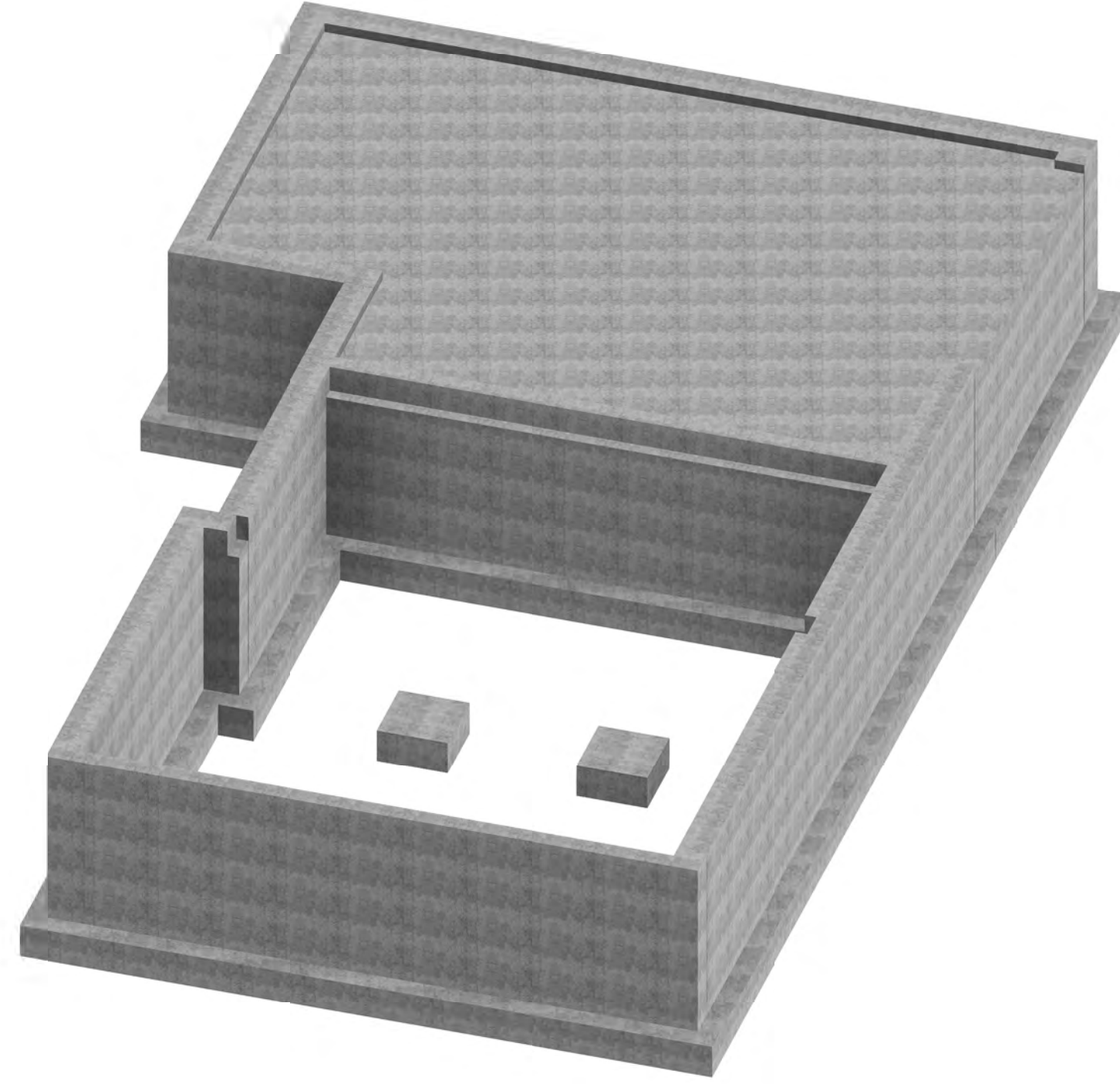
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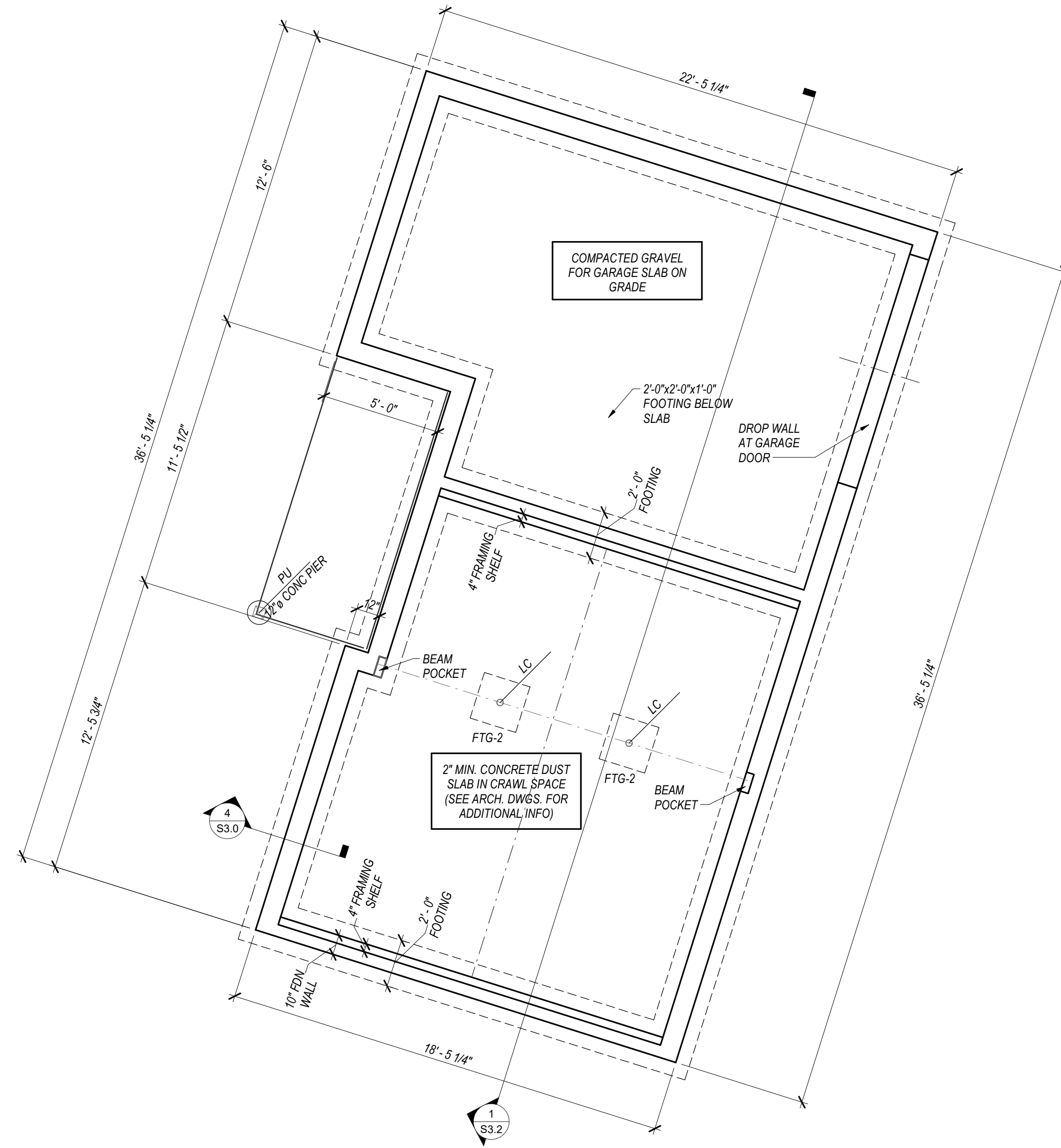
Odenberg - Stupnitsky Residence  
 26 Chappaquiddick Ave, West Tisbury MA 02568  
 STRUCTURAL DETAILS

S2.0

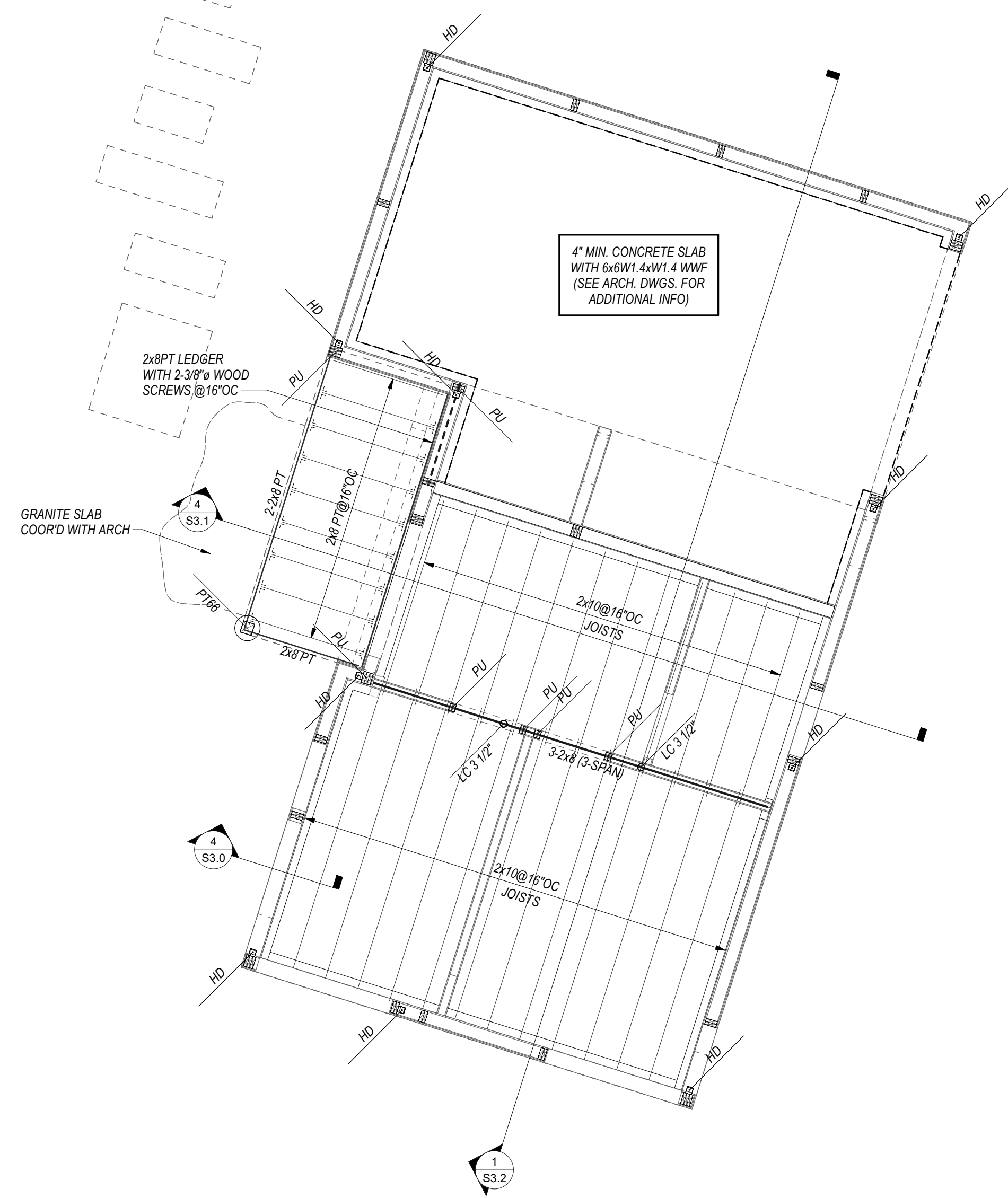




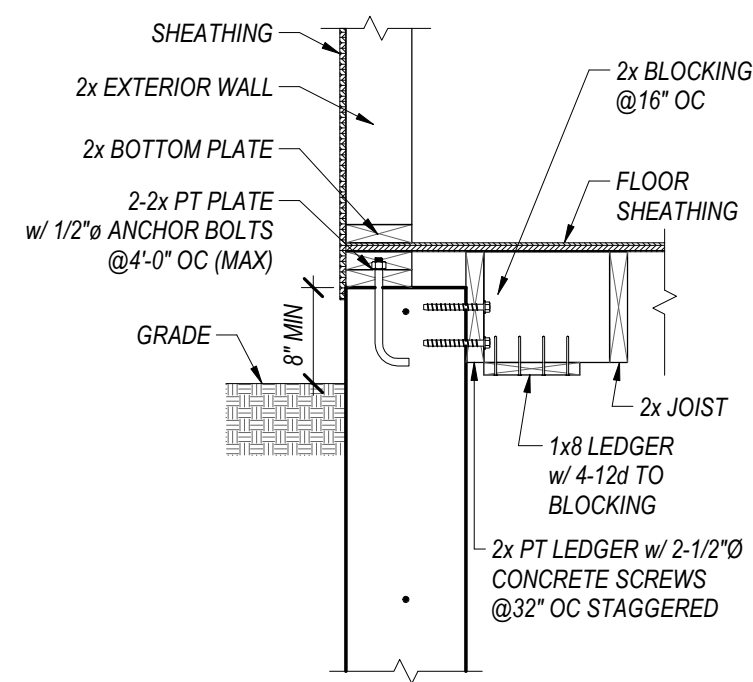
3 3D FOUNDATION - Guest House



2 FOUNDATION PLAN  
1/4" = 1'-0"



1 Guest House-FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"



CONDITION PARALLEL TO JOIST

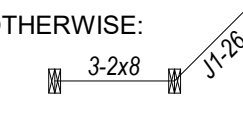
4 FDN DETAIL  
3/4" = 1'-0"

**FOUNDATION NOTES:**

1. REFERENCE ARCHITECTURAL PLANS FOR FOUNDATION DIMENSIONS AND ELEVATIONS NOT SHOWN
2. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT AND ENGINEER OF ANY TOP OF WALL ELEVATION AND DIMENSION DEVIATIONS BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS
3. DENOTES TOW FOR LEVEL 1

**FLOOR FRAMING NOTES:**

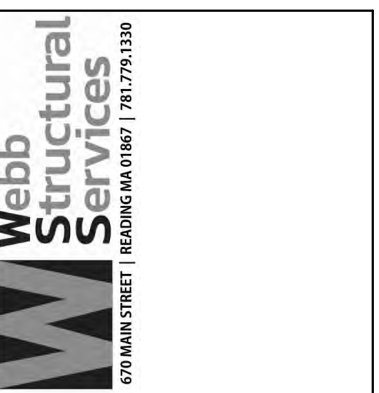
1. ALL INDIVIDUAL LVLS ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
2. BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF (2) - 1/2" Ø BOLTS AT 16" OC OR (3) - 3/8" Ø WOOD SCREW @ 16" OC, ALTERNATING INSERTION SIDES. FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON PLAN.
3. HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:



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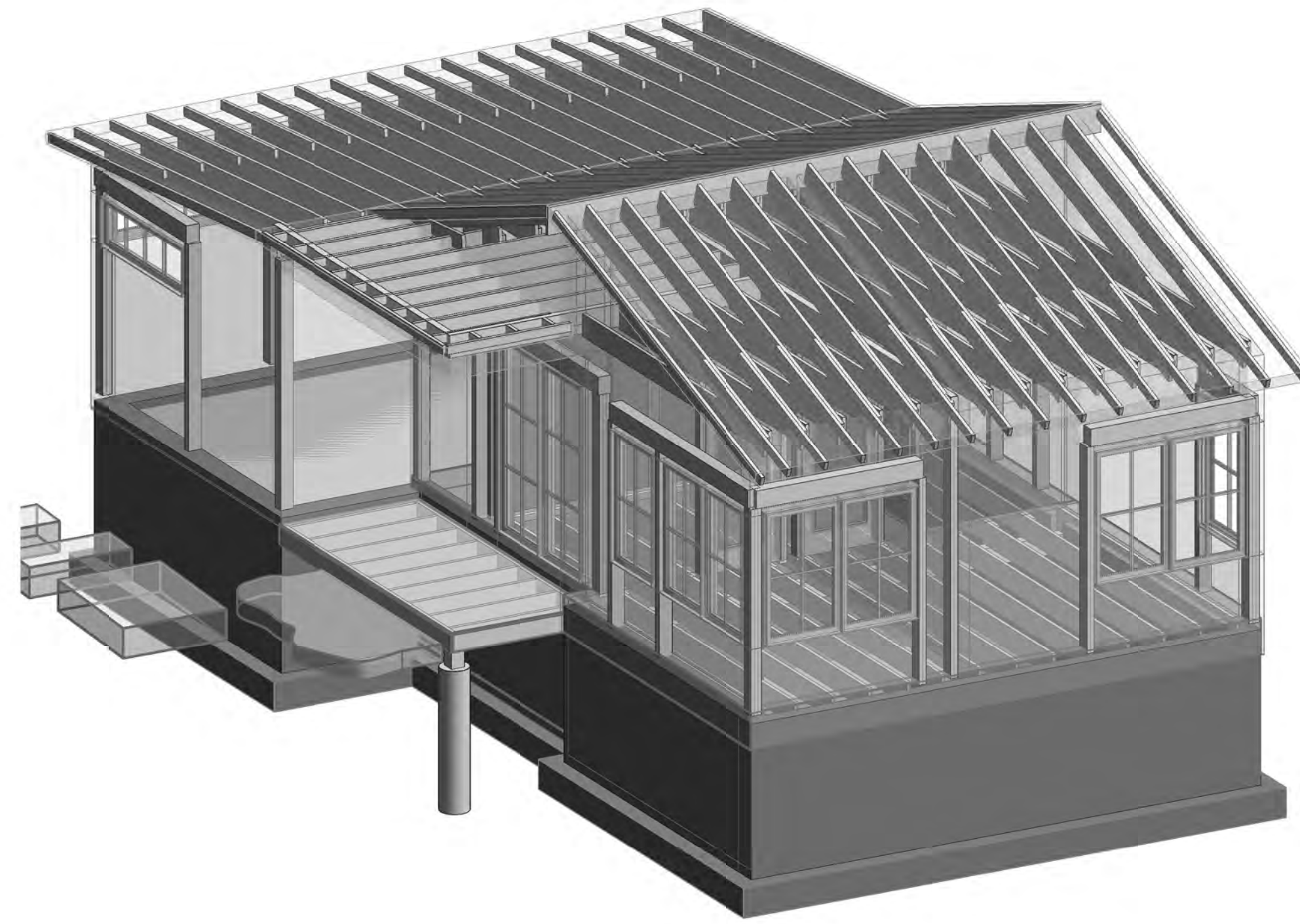


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 GARAGE/GUEST HOUSE-FOUNDATION AND FIRST FLOOR

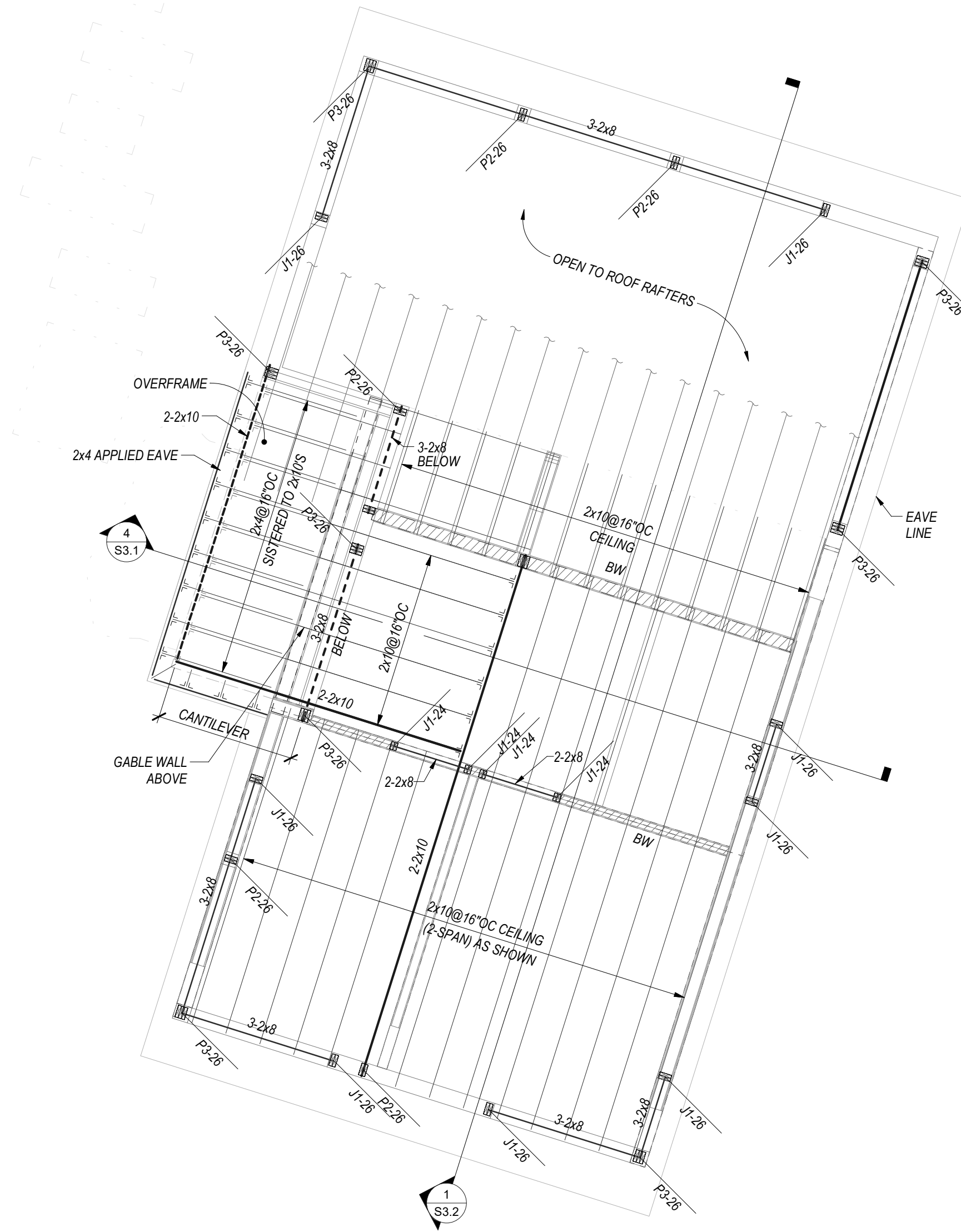
S3.0



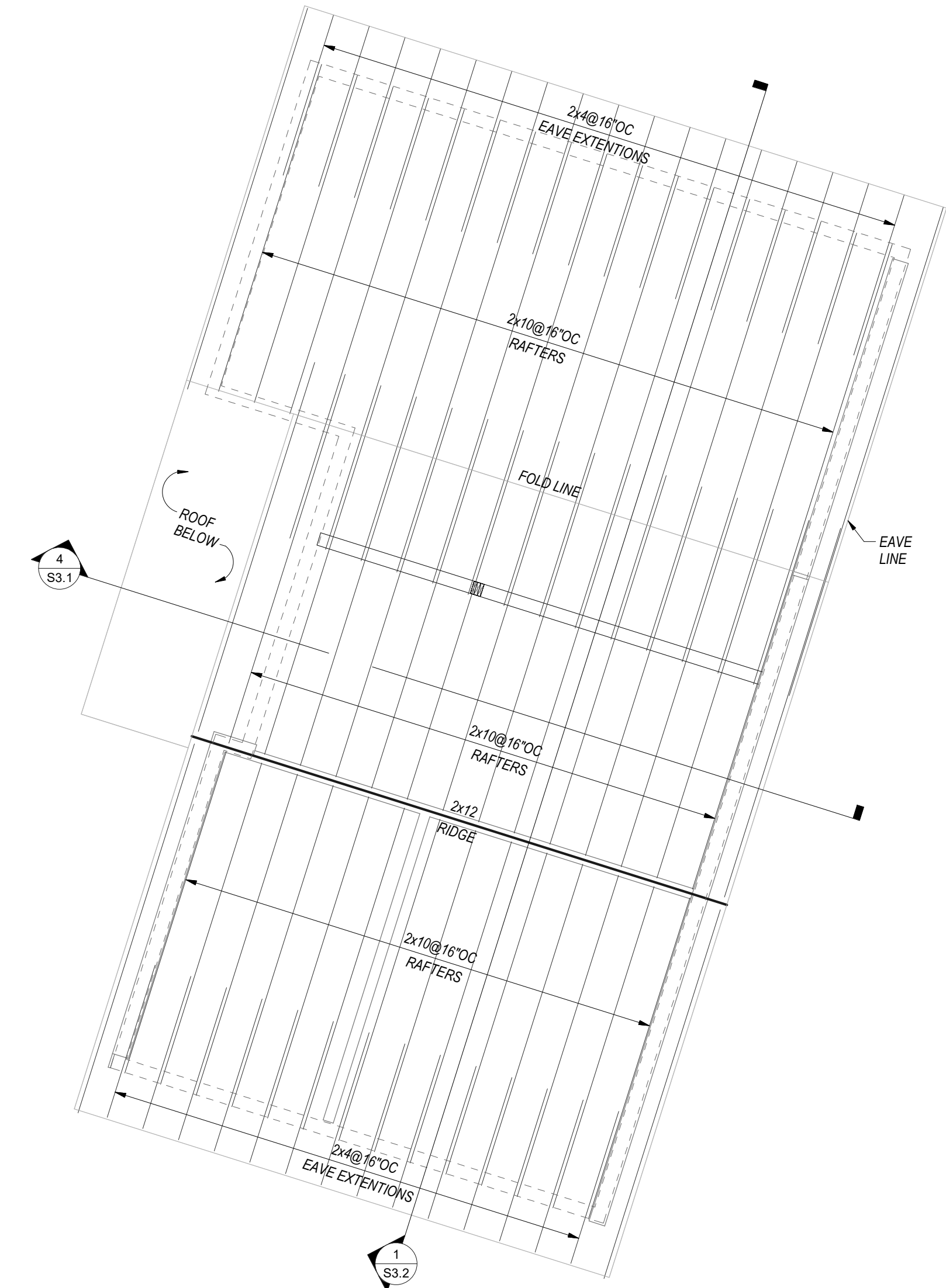
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3 3D FRAME - Guest house



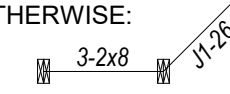
2 Guest House-CEILING FRAMING PLAN  
1/4" = 1'-0"



1 Guest House-ROOF FRAMING PLAN  
1/4" = 1'-0"

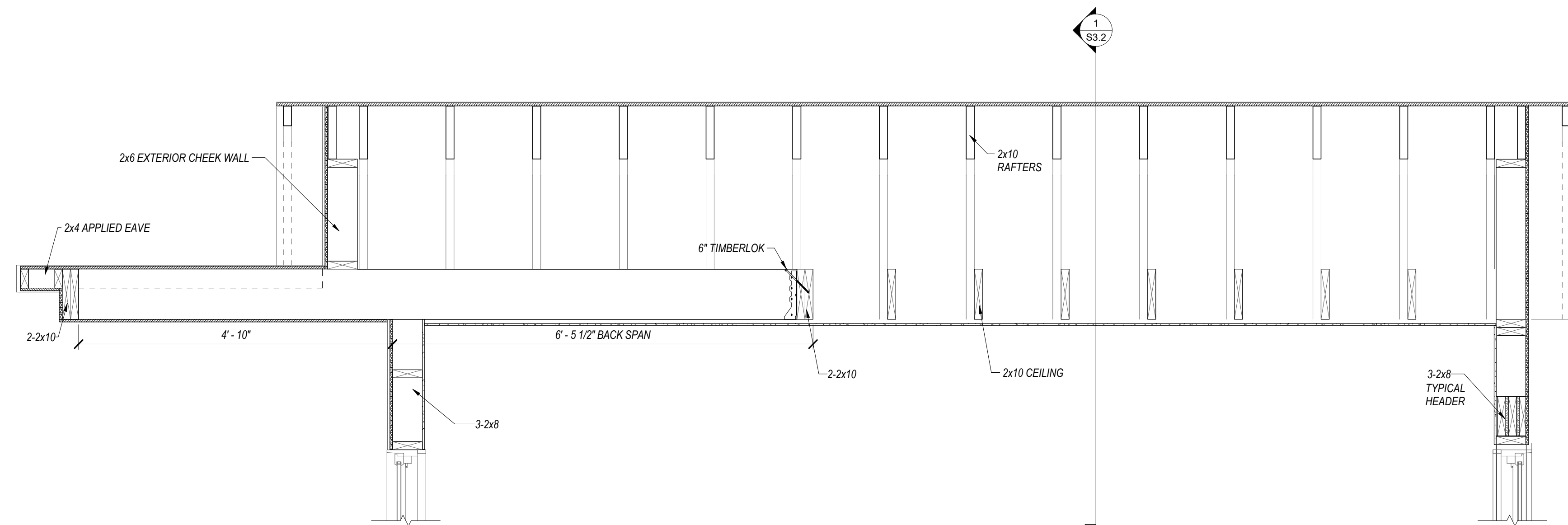
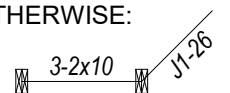
**FLOOR FRAMING NOTES:**

- ALL INDIVIDUAL LVLs ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
- BEAMS COMPRISED OF 3 LVLs OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF (2)- 1/2"Ø BOLTS AT 16"OC OR (3)- 3/8"Ø WOOD SCREW @16"OC. ALTERNATING INSERTION SIDES. FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON PLAN
- HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:



**FLOOR & ROOF FRAMING NOTES:**

- ALL INDIVIDUAL LVLs ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
- ALL RAFTER TO HIP OR VALLEY CONNECTION TO BE MADE W/ A MINIMUM OF 6-12d NAILS.
- ALL CEILING TO RAFTER CONNECTIONS TO BE MADE W/ A MINIMUM OF 8-12d NAILS.
- ALL RAFTER TO LVL RIDGE CONNECTIONS TO BE MADE WITH A MINIMUM OF 6-12d NAILS EQSP AND A SINGLE SIMPSON A35 FRAMING ANGLE UNLESS DETAILED OTHERWISE.
- ALL VALLEYS AND HIPs TO BE CONNECTED TO RIDGES WITH A MINIMUM OF 12 EQSP 16d NAILS AND A L590 FRAMING ANGLE.
- PROVIDE SIMPSON H2.5 HURRICANE TIES CONNECTING EACH RAFTER TO STRUCTURE BELOW. TIE TO BE PLACED OVER THE OUTSIDE WALL SHEATHING.
- EXTEND PLYWOOD SHEATHING UNDER ENTIRE OVER FRAMED AREA.
- BEAMS COMPRISED OF 3 LVLs OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF (2)- 1/2" DIA BOLTS AT 16"OC OR (3)- 1/4"Ø SELF TAPPING LAG SCREWS @16"OC. ALTERNATING INSERTION SIDES. FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON PLAN
- HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

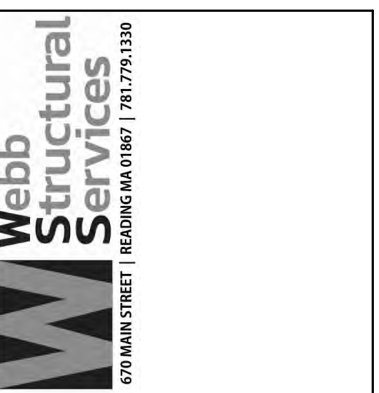


4 GH-SECTION THRU ENTRY  
3/4" = 1'-0"

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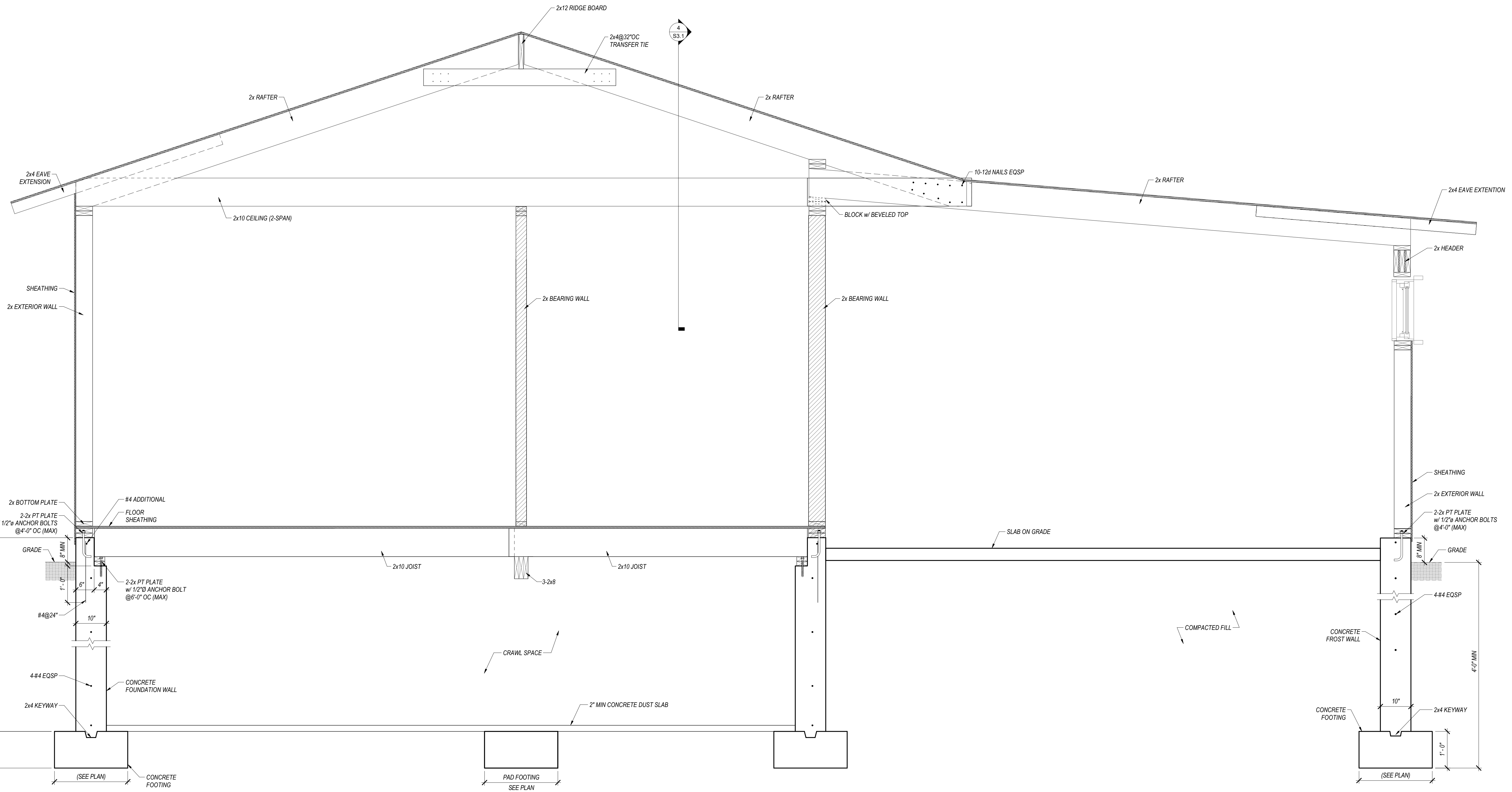
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 GARAGE/GUEST HOUSE - CEILING AND ROOF FRAMING

S3.1



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**1 GH- BUILDING SECTION**  
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Guest House Building Section

**S3.2**