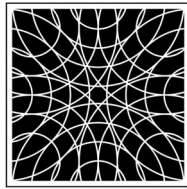


LAGOON RIDGE - PROSPECT

DOUBLE OX ROAD
OAK BLUFFS, MA 02568

FOR PERMIT AND CONSTRUCTION

05/01/2023



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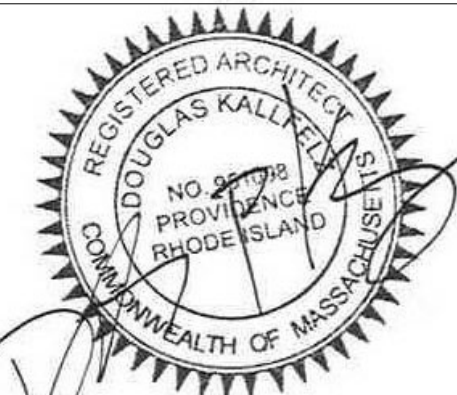
STRUCTURAL:

MARTHA'S VINEYARD
ENGINEERING & DESIGN
PO BOX 919
79 BEACH ROAD
VINEYARD HAVEN, MA 02568

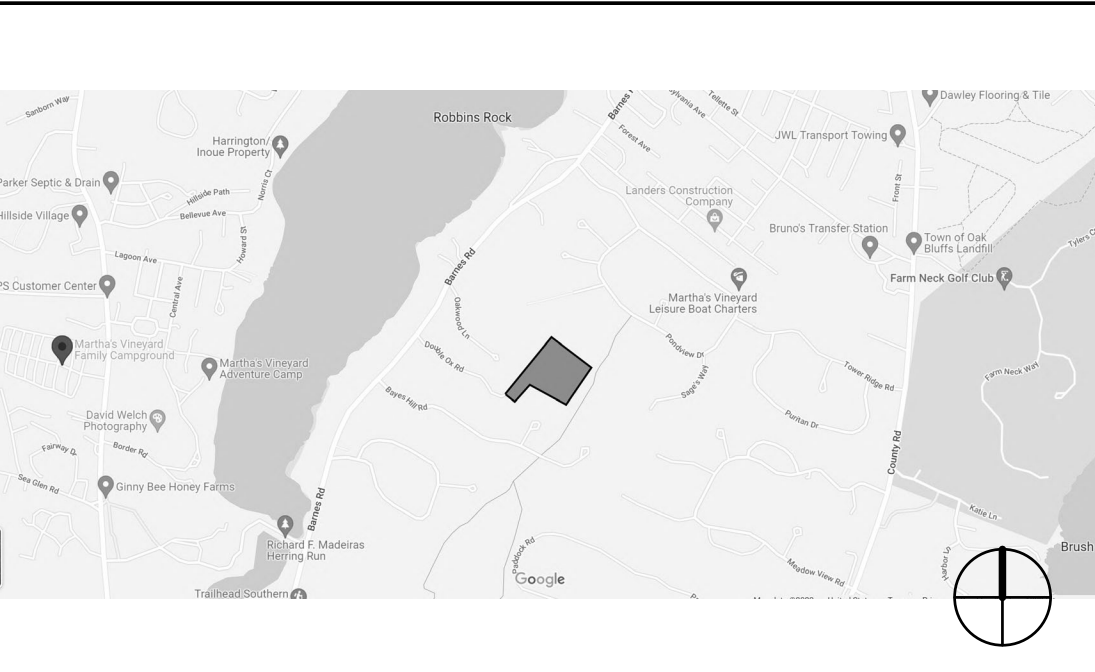
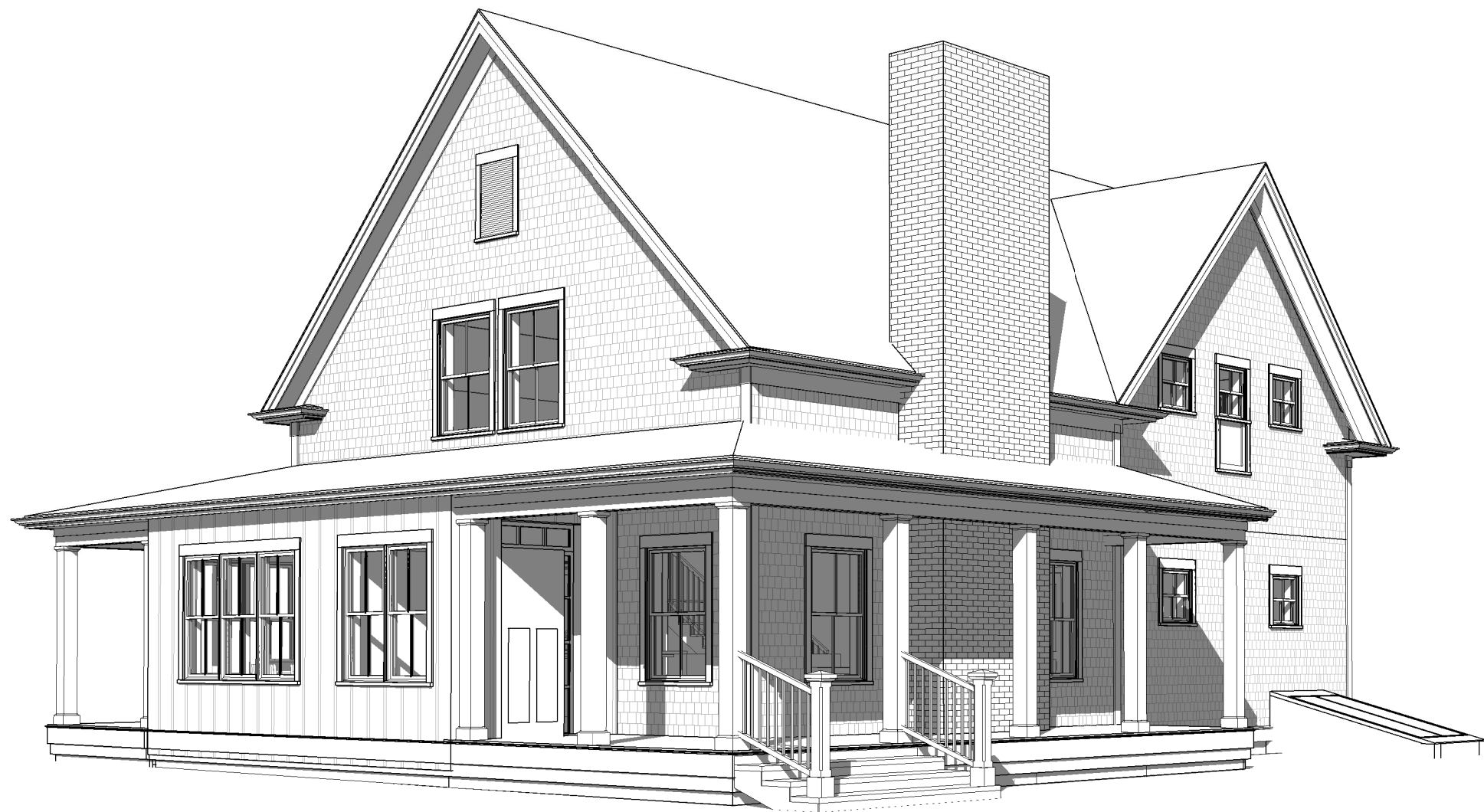
MECHANICAL,
ELECTRICAL &
PLUMBING:

FIRE PROTECTION:

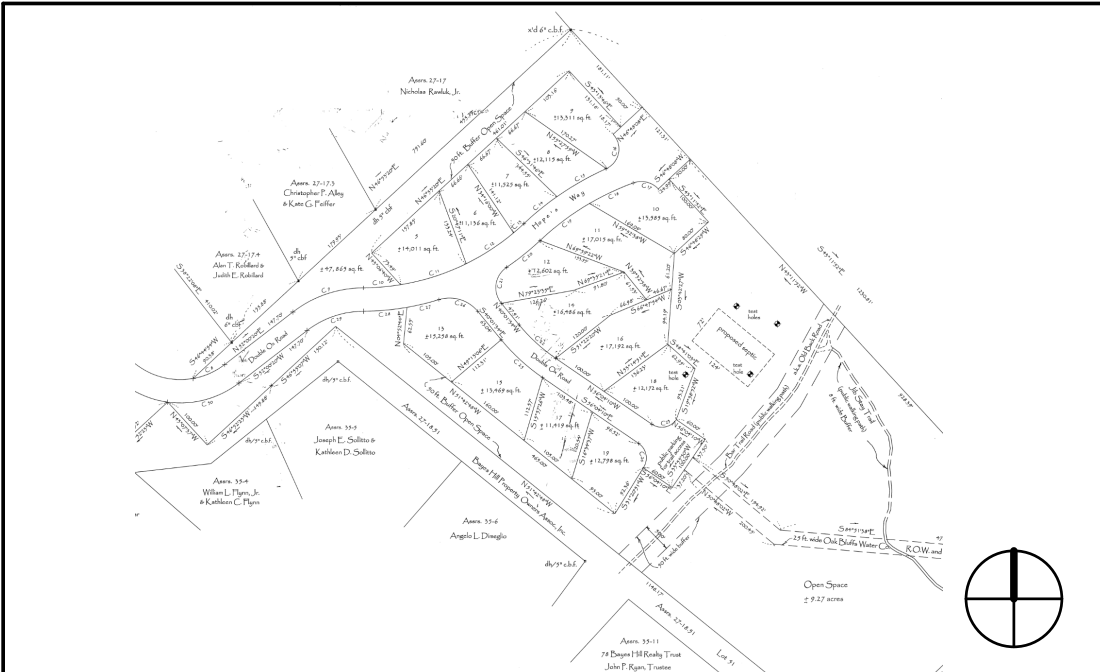
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LAGOON RIDGE - PROSPECT



VICINITY MAP

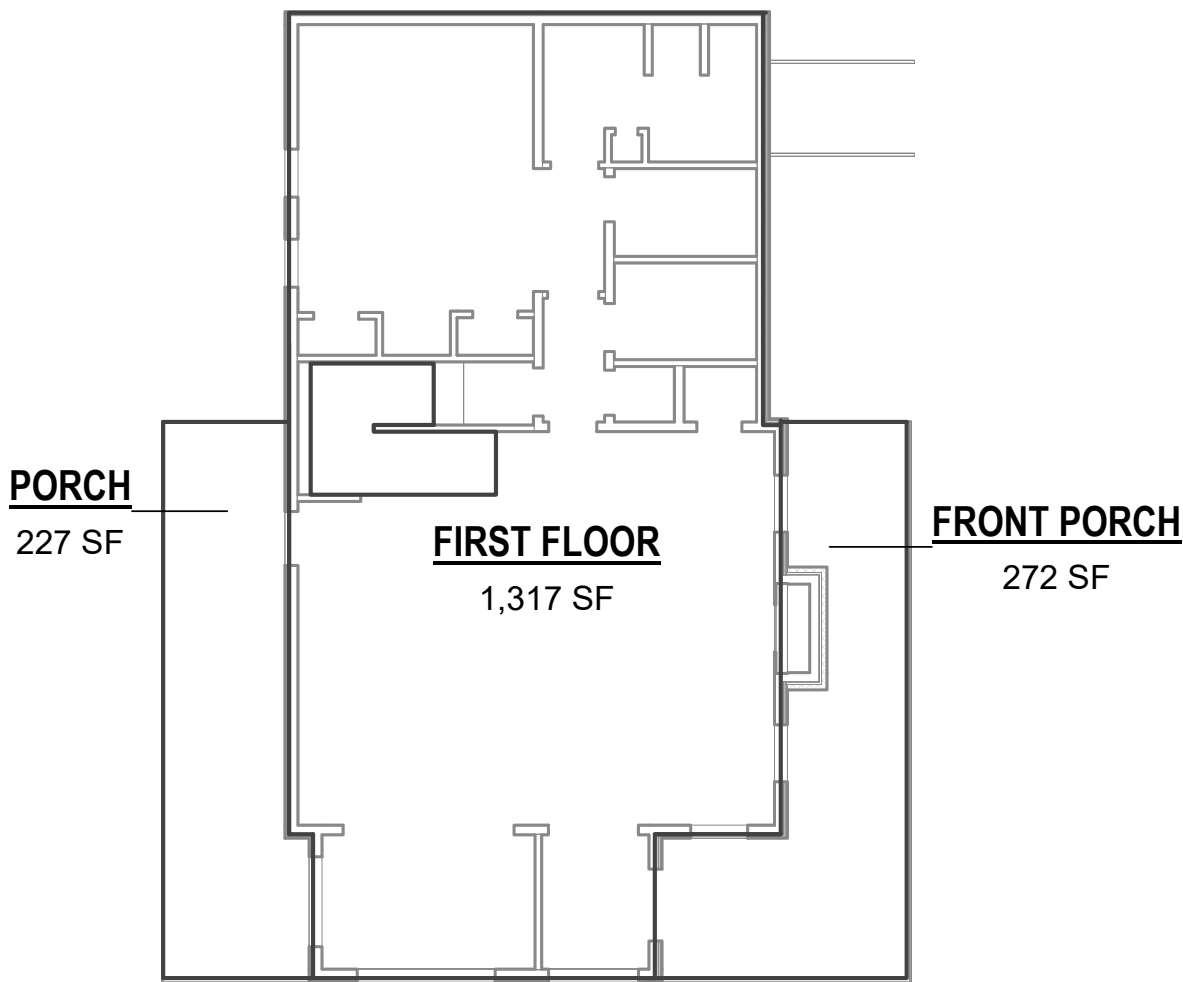


SITE MAP

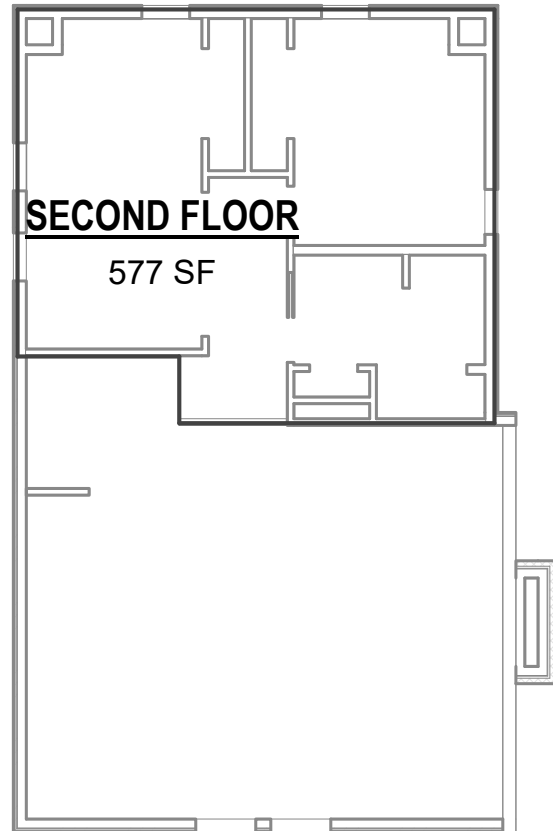
SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	DATUM POINT
	ELEVATION MARKER
	BUILDING SECTION
	AREA OF DETAIL
	DETAIL SECTION
	WALL SECTION
	INTERIOR ELEVATION
	EXTERIOR ELEVATION
	WINDOW TYPE
	DOOR NUMBER
	ROOM NAME AND NUMBER
	WALL TYPE
	REVISION NUMBER AND CLOUD REFERENCE
	ROOF PITCH
	CENTERLINE



BASEMENT - GROSS AREA PLAN
3/32" = 1'-0"



FIRST FLOOR - GROSS AREA PLAN
3/32" = 1'-0"



SECOND FLOOR - GROSS AREA PLAN
3/32" = 1'-0"

DRAWING LIST	
NUMBER	NAME
0 - COVER	
G000	TITLE SHEET
2 - STRUCTURAL	
S.01	STRUCTURAL NOTES & SCHEDULES
S.02	FOUNDATION PLAN
S.03	1ST FLOOR FRAMING / UPPER FOUNDATION PLAN
S.04	2ND FLOOR / LOWER ROOF FRAMING PLAN
S.05	2ND FLOOR / LOWER ROOF FRAMING PLAN & UPPER ROOF FRAMING PLAN
3 - ARCHITECTURAL	
A100	BASEMENT PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A302	TYPICAL WALL SECTIONS
A501	TYPICAL EXTERIOR DETAILS
A502	TYPICAL EXTERIOR DETAILS
A503	DOOR & WINDOW DETAILS
A600	TYPICAL MOUNTING HEIGHT DIAGRAMS
4 - ELECTRICAL	
E100	BASEMENT ELECTRICAL PLAN
E101	FIRST FLOOR ELECTRICAL PLAN
E102	SECOND FLOOR ELECTRICAL PLAN

PROJECT DATA		
BUILDING CODE DATA		
780 CMR 51.00 MA RESIDENTIAL CODE - 9TH ED AMENDMENTS TO IRC 2015		
UNIT SEPARATION	N/A	
GARAGE SEPARATION	N/A	
SPRINKLERS	NO	
BASIC WIND SPEED	140 MPH	
SEISMIC CATEGORY	B	
FROST DEPTH	48 INCHES	
WEATHERING POTENTIAL	SEVERE	
TERMITE POTENTIAL	MODERATE	
ZONING ORDINANCE DATA		
TOWN ZONING ORDINANCE		
ZONING DISTRICT	R-1	
OVERLAY DISTRICT	NO	
	REQUIRED	PROPOSED
USE	SINGLE FAMILY	SINGLE FAMILY
LOT AREA	-	--
FRONT SETBACK	20'	--
SIDE SETBACK	20'	--
LOT COVERAGE	1/3	--
BUILDING HEIGHT	2 STORIES / 35 FT	2 STORIES / 35 FT
STRUCTURAL DESIGN LIVE LOADS		
NON-SLEEPING AREAS	40 PSF	
SLEEPING AREAS	30 PSF	
DECKS/BALCONIES	40 PSF	
ATTICS	20 PSF	
GROUND SNOW LOAD	25 PSF	
ROOF PHOTOVOLTAICS	5 PSF	
GARAGE	50 PSF	
HANDRAILS/GUARDS	200 PSF	
GUARD INFILL	50 PSF	
ENERGY CODE DATA		
2023 MA ENERGY STRETCH CODE - W/ AMEND. TO IECC 2021		
CLIMATE ZONE	5A	
	REQUIRED	PROPOSED
FRAMED WALL		R-21 + R-6 c.i.
ROOF @ ATTIC		R-60
BASEMENT WALL		R-13 & R-5 c.i.
BASEMENT SLAB		R-10 c.i.
WINDOWS		U 0.30
HERS SCORE	52 (mixed fuel bldg)	52

AIR TIGHTNESS REQUIREMENT	
UPON COMPLETION, A BLOWER DOOR TEST MUST ACHIEVE THE RATINGS TO MEET THE ENERGY CODE REQUIREMENTS. FAILURE TO ACHIEVE WILL RESULT IN CORRECTIONS AS REQUIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.	

AREA SCHEDULE - GROSS BUILDING	
AREA NAME	Area
Unconditioned	
FRONT PORCH	272 SF
PORCH	227 SF
Conditioned	
BASEMENT FLOOR	1,364 SF
FIRST FLOOR	1,317 SF
SECOND FLOOR	577 SF
	3,756 SF

GENERAL PROJECT NOTES	
1. GENERAL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.	
2. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, PERMITS, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE REQUIRED WORK UNDER THE CONTRACT.	
3. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AS WELL AS ANY REQUIREMENTS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION.	
4. IN THE EVENT OF CONFLICTING PROVISIONS WITHIN THE DRAWINGS, THE FOLLOWING ORDER OF PRECEDENCE FOR RESOLUTION OF THE CONFLICT SHALL APPLY: THE MORE SPECIFIC PROVISION SHALL TAKE PRECEDENCE OVER THE LESS SPECIFIC; IF NOT RESOLVED, THE LESS STRINGENT SHALL TAKE PRECEDENCE OVER THE MORE STRINGENT; IF NOT RESOLVED, THE LESS EXPENSIVE ITEM WILL TAKE PRECEDENCE OVER THE MORE EXPENSIVE.	
5. DRAWING SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED. HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THE PLANS, SECTIONS OR DETAILS. ON ALL DRAWINGS, FIGURES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.	
6. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR THEIR EMPLOYEES USE ON THE PROJECT TO ENSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.	
7. ALL DIMENSIONS ARE ACTUAL AND ARE TAKEN TO THE FACE OF STUD, FACE OF CONCRETE WALL, OR FACE OF FRAME, UNLESS NOTED OTHERWISE.	
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE STRUCTURE DURING CONSTRUCTION.	
9. THE CONTRACTOR IS RESPONSIBLE FOR DUST AND WEATHER PROTECTION DURING CONSTRUCTION.	
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONS USING THE SURROUNDING FACILITIES WHO COME INTO CONTACT WITH THE AREA OF CONSTRUCTION. THE CONSTRUCTION AREA SHALL BE PROPERLY BARRICADED TO PREVENT INTRUSION BY PERSONS NOT ASSOCIATED WITH THE CONSTRUCTION OF THIS FACILITY.	
11. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.	
12. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE CONDITIONED, USED, APPLIED, INSTALLED, CONNECTED, ERECTED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS, GUIDELINES AND INSTALLATION INSTRUCTIONS.	
13. THE GENERAL CONTRACTOR WARRANTS THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE AS SPECIFIED AND FREE OF DEFECTS.	
14. THE GENERAL CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.	

INTERPRETATION OF CONTRACT DOCUMENTS	
IN THE EVENT OF CONFLICTING PROVISIONS IN THE CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND OWNER FOR CLARIFICATION AND DIRECTION PRIOR TO ORDERING OR PROVIDING ANY MATERIALS OR LABOR. THE CONTRACTOR SHALL BID THE MOST STRINGENT REQUIREMENTS.	
IN ADDITION, THE FOLLOWING PROVISIONS SHALL BE ADHERED TO:	
• THE SPECIFICATIONS TAKE PRECEDENCE OVER DRAWINGS. DRAWINGS AND DETAIL TO A GREATER SCALE TAKE PRECEDENCE OVER DRAWINGS AND DETAILS OF A SMALLER SCALE.	
• THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY, INSTALLATION, AND COORDINATION OF ALL MATERIALS AND WORK SHOWN IN THE CONTRACT DOCUMENTS.	
• IF THERE IS A CONFLICT BETWEEN ONE OR MORE DETAILS OR REQUIREMENTS APPLYING TO THE SAME CONDITION, THE MOST RESTRICTIVE AS DETERMINED BY THE ARCHITECT SHALL APPLY.	
• REFERENCE OR COMPLIANCE WITH A STANDARD SHALL MEAN REFERENCE TO THE CURRENT EDITIONS OF THAT STANDARD AS WELL AS SUPPLEMENTS AND ALL DOCUMENTS REFERENCED THEREIN UNLESS REFERENCE TO A SPECIFIC DOCUMENT VERSION IS MADE.	

PROSPECT
RESIDENCE

DESIGN CRITERIA

- 1) BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE (MSBC) & THE INTERNATIONAL RESIDENTIAL CODE EDITION 2015 (IRC)
- 2) LOADS: **DEAD** **LIVE / SNOW**
a) ROOF 15 PSF 25 PSF
b) FLOOR 15 PSF 40 PSF
c) DECK 15 PSF 60 PSF
- 3) WIND LOADS:
a) BASIC WIND SPEED = 140 mph - EXPOSURE B AS PER MSBC
- 4) METAL CONNECTOR CLIPS TO BE PROVIDED & INSTALLED AS PER THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AS DESCRIBED IN R301.2.1.1 DESIGN CRITERIA
- 5) MINIMUM DEFLECTIONS OF HORIZONTAL STRUCTURAL MEMBERS:
a) FLOOR MEMBERS L/360
b) ROOF MEMBERS L/240
- 6) CONCRETE MINIMUM 28-DAY COMPRESSIVE STRENGTH, f'c
a) FOOTINGS 3,000 psi
b) FOUNDATIONS WALLS 3,000 psi
c) SLAB ON GRADE 3,000 psi
d) HONEY-COMBING, SPALLS, CRACKS, ETC. SHALL BE REPORTED TO THE STRUCTURAL ENGINEER.
- 7) STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF SYSTEMS NOT SHOWN IN STRUCTURAL PLANS. MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODES
- 9) FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DOCUMENTS, REFER TO ARCHITECTURAL DOCUMENTS.
- 10) CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
- 11) THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. TEMPORARY SHORING & SUPPORT MAY BE REQUIRED DURING INTERMEDIATE STAGES OF CONSTRUCTION.

WIND DESIGN CRITERIA

- 1) BUILDING CODE: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC EDITION 2015 (SDPWS)
- 2) FRAMING REQUIREMENTS: ALL FRAMING MEMBERS AND BLOCKING USED FOR SHEAR WALL CONSTRUCTION SHALL BE 2" NOMINAL OR GREATER.
- 3) SHEATHING REQUIREMENTS:
a) SHEATHING SHALL BE ATTACHED USING NAILS OR OTHER APPROVED FASTENERS. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH TO THE SURFACE OF THE SHEATHING.
b) PANELS SHALL NOT BE LESS THAN 4' x 8' EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING.
c) NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE

GLOSSARY

ALT - ALTERNATING	MAX - MAXIMUM
ARCH - ARCH'L. - ARCHITECT / ARCHITECTURAL	MIN - MINIMUM
B/- BOTTOM	MSBC - MASSACHUSETTS STATE BUILDING CODE
B/W - BOTH WAYS	MSL - MEAN SEA LEVEL
B.N. - BOUNDARY NAILING	(N) - NEW
BLK'G. - BLOCKING	OC - ON CENTER
BM - BEAM	PCF - POUNDS PER CUBIC FOOT
BP - BASE PLATE	PL - PLATE
C.J. - CEILING JOIST	PLF - POUNDS PER LINEAR FOOT
CL- CENTER LINE	PLY - PLYWOOD
COL - COLUMN	PORT - PORTLAND CEMENT
CONN - CONNECT	PSF - POUNDS PER SQUARE FOOT
D.J. - DECK JOIST	PSI - POUNDS PER SQUARE INCH
DEV - DEVELOPMENT	PSL - PARALLEL STRAND LUMBER
DIA - Ø - DIAMETER	PT - PRESSURE TREATED
DIR - DIRECTION	REINF - REINFORCED / REINFORCEMENT
DN - DOWN	RET - RETAINING
EA - EACH	REQ'D. - REQUIRED
ECT - ETCETERA	RO - ROUGH OPENING
ELEV - ELEVATION	R.R. - ROOF RAFTER
EMBED - EMBEDDED	SF - SUBFLOOR
E.N. - END NAILING	STAGG - STAGGERED
ENG - ENGINEER	STR - STRUCTURAL
EQ - EQUALLY	T/ - TOP
EXIST - (E) - EXISTING	T/B - TOP AND BOTTOM
EXT - EXTERIOR	T&G - TONGUE AND GROVE
F.J. - FLOOR JOIST	TBD - TO BE DETERMINED
F.N. - FIELD NAILING	TBR - TO BE REMOVED
FF - FINISH FLOOR	TJI - ENGINEERED I-JOIST
FG - FINISH GRADE	TP - TOP PLATE
FOUND - FOUNDATION	TYP - TYPICAL
GALV - GALVANIZED	VERT - VERTICAL
GLB - GLULAM BEAM	VIF - VERIFY IN FIELD
HDR - HEADER	w/- WITH
HORIZ - HORIZONTAL	
IBC - INTERNATIONAL BUILDING CODE	
IEBC - INTERNATIONAL EXISTING BUILDING CODE	
INT - INTERIOR	
IRC - INTERNATIONAL RESIDENTIAL CODE	
KIP - K - 1000 POUNDS	
LB - POUND	
LSL - LAMINATED STRAND LUMBER	

HOLDOWN SCHEDULE

SYMBOL	HOLDOWN DEVICE	VALUE
A	(2)-2x STUD w/ "MSTC40" FLOOR-TO-FLOOR HOLDOWN	2,655 LBS
B	(2)-2x STUD w/ "MSTC52" FLOOR-TO-FLOOR HOLDOWN	3,985 LBS
C	(2)-2x STUD w/ "MSTC66" FLOOR-TO-FLOOR HOLDOWN	5,850 LBS
D	(2)-2x STUD w/ "MSTC48B3" FLOOR-TO-FLOOR HOLDOWN	3,900 LBS
E	(2)-2x STUD w/ "MSTC66B3" FLOOR-TO-FLOOR HOLDOWN	4,490 LBS
F	(2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "STHD10" / "STHD10RJ"	2,215 LBS
G	(2)-2x STUD w/ "HDU4" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "STHD10" / "STHD10RJ"	3,285 LBS
H	(2)-2x STUD w/ "HDU5" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "STHD14" / "STHD14RJ"	4,340 LBS
J	(2)-2x STUD w/ "HDU8" HOLD-DOWN w/ "SB7/8x24" (7/8"Ø A.B.)	6,580 LBS
K	4 x 6 w/ "HDU11" HOLD-DOWN w/ "SB1x30" (1"Ø A.B.)	8,030 LBS
L	6 x 6 POST w/ "HDU14" HOLD-DOWN w/ "SB1x30" (1"Ø A.B.)	12,425 LBS
M	6x POST w/ "CMST12" FLOOR TO FLOOR HOLDOWN (END LENGTH NAILING TO POST, L=3'-3" MIN.)	9,215 LBS

NOTES:

1. DEEPEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLDOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
2. MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
3. MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS. MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.

SPREAD FOOTING SCHEDULE

SYMBOL	DIMENSIONS & REINFORCEMENTS
P-1	2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY
P-2	2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY
P-3	3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY
P-4	3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY
P-5	4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 THROUGH #18 REBAR	2
		#5 REBAR, W31D31 WIRE, AND SMALLER	1-1/2
		#14 AND #18 REBAR	1-1/2
		#11 REBAR AND SMALLER	3/4
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS		
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2

ENGINEERED WOOD SUBSTITUTION CHART

I-JOIST			
MANUFACTURER	TRUS JOIST	NORDIC	BOISE CASCADE
PRODUCT	TJI 110	NI-20	BCI 5000 1.7
	TJI 210	NI-40x	BCI 6000 1.8
	TJI 230	NI-60	BCI 6500 1.8
	TJI 360	NI-80	BCI 60 2.0
	TJI 560	NI-90	BCI 90 2.0
BEAMS			
MANUFACTURER	TRUS JOIST	ANTHONY	BOISE CASCADE
PRODUCT	LVL 2.0E	POWER BEAM (30F-E2 OR 28F-E2)	VERSA-LAM 2.0E
	PSL 2.0E		VERSA-LAM 2.0E
	LSL 1.55E		VERSA-LAM 1.7E
	LSL 1.3E		VERSA-LAM 1.4E

SOIL CLASSIFICATION NOTE

ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

EXPOSED FRAMING NOTE

ALL EXPOSED WOOD DECK FRAMING (i.e. JOISTS, BEAMS, POSTS, ETC.) TO BE PRESSURE TREATED. (U.N.O.)

DRAINAGE NOTE

ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDINGS EDGE

RECESSED LIGHTING NOTE

CONTRACTOR TO LAYOUT ALL ROOF RAFTERS, CEILING, FLOOR & DECK JOIST IN COORDINATION WITH RECESSED LIGHTING LAYOUT SHOWN IN ARCH'L. DRAWINGS.

FLOOR / DECK NOTE

CONTRACTOR TO INSTALL FULL-DEPTH BRIDGING OR BLOCKING @ 1/3 SPANS FOR ALL FLOOR/DECK JOIST WITH SPANS GREATER THAN 14'-0".

BASEMENT WALL NOTE

1. OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF SLAB
2. OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL OF FLOOR FRAMING.

LARGE DOORS / WINDOWS

CONTRACTOR TO ENSURE ALL FINISHES HAVE BEEN INSTALLED/LOADED PRIOR TO INSTALL OF DOORS/WINDOWS WITH OPENINGS LARGER THAN 12'-0" (ALL TRUE GLASS CORNERS) OR PROVIDE GLAZING INSTALLER ACCESS TO BOTH THE TOP AND BOTTOM OF SAID DOORS/WINDOWS AFTER FINISHES TO ALLOW FOR ANY REQUIRED ADJUSTMENTS.

CONCRETE SLAB-ON-GRADE

USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" WWM OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL VAPOR BARRIER

EXTERIOR WALL SHEATHING

SHEATH ENTIRE EXTERIOR OF BUILDING. 1/2" MIN. STRUCTURAL I SHEATHING. (U.N.O.) 10d COMMON NAILS @ 4" O.C. END NAILING (E.N.) 10d COMMON NAILS @ 6" O.C. FIELD NAILING (F.N.)

ALL SHEATHING TO RUN CONT. w/ E.N. TO RIM JOISTS OR SILL PLATES (WHERE OCCURS) @ BTM. OF WALL & TO RIM JOISTS OR RAFTER/JOIST BLK'G. @ TOP OF WALL.

DECK SHEATHING

23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1 10d COMMON NAILS @ 6" O.C. B.N. & E.N. 10d COMMON NAILS @ 10" O.C. INT. FRAMING



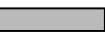
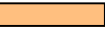



FLOOR SHEATHING

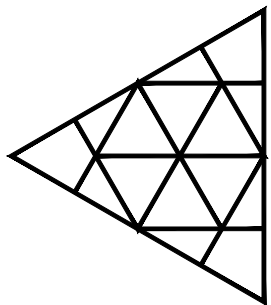
23/32" APA-RATED STURD-I-FLOOR, T&G, 48/24 SPAN RATING, EXPOSURE 1 10d COMMON NAILS @ 6" O.C. B.N. & E.N. 10d COMMON NAILS @ 10" O.C. INT. FRAMING

ROOF SHEATHING

19/32" APA-RATED SHEATHING, EXPOSURE 1, 24" MIN. SPAN RATING, 8d COMMON NAILS @ 6" O.C. B.N. & E.N. 8d COMMON NAILS @ 12" O.C. INT. FRAMING

STRUCTURAL LEGEND

- ☒ POST BELOW
- ☐ POST ABOVE
-  TIMBER FRAMING
-  ENGINEERED LUMBER
-  CONCRETE
-  PLYWOOD SHEATHING
-  STRUCTURAL STEEL
-  REBAR
-  STEEL SHEARWALLS & CONNECTORS



CHECK	DRAWN	DATE	ISSUED FOR
CHD	TLS	10.31.22	PERMIT SET
CHD	TLS	04.13.23	ARCHITECTURAL REVISIONS
CHD	TLS	06.13.23	ARCHITECTURAL REVISIONS

MARTHA'S VINEYARD
ENGINEERING & DESIGN

79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE:

SEE PLANS

JOB NUMBER:

21165

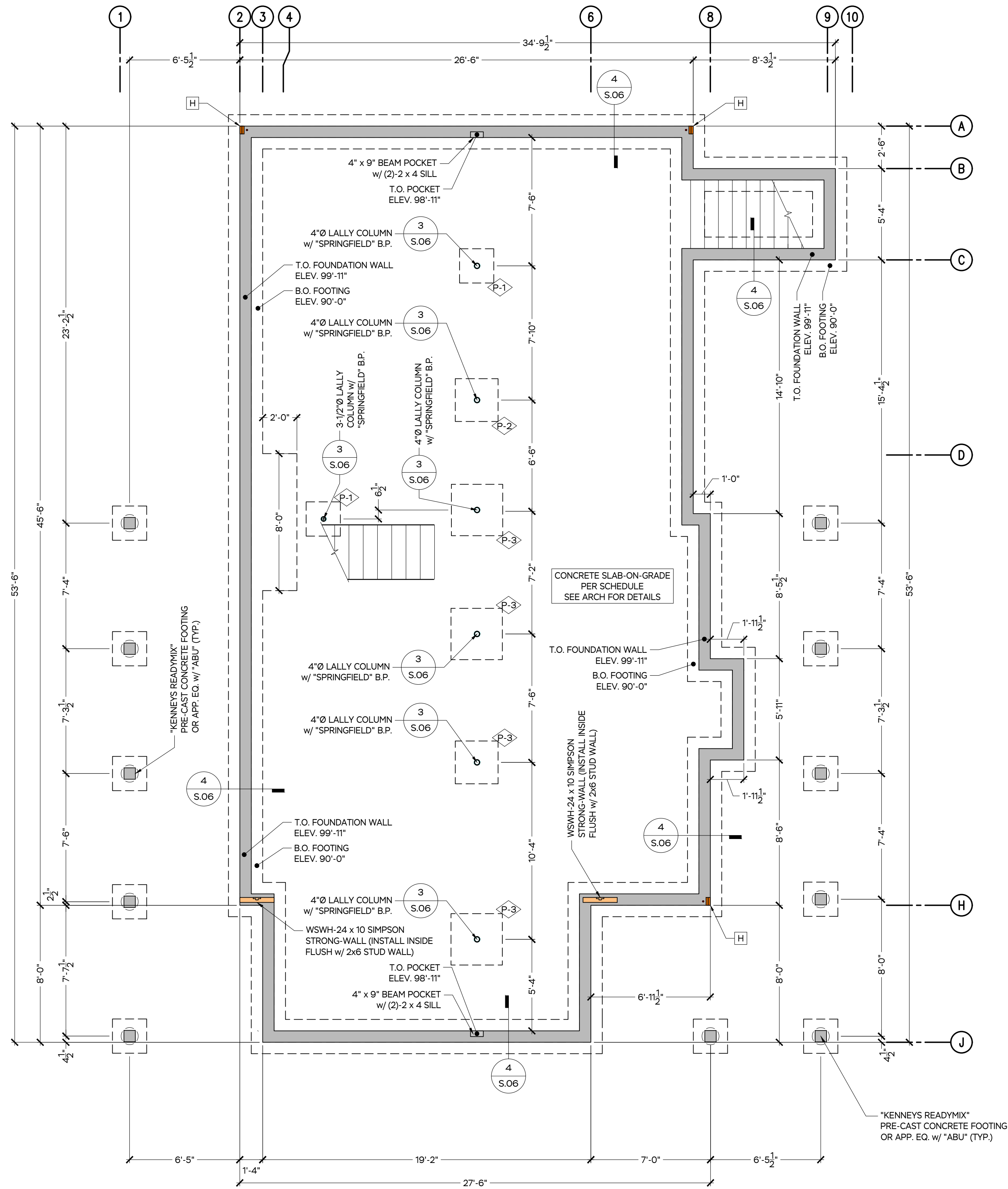
PROJECT: PROSPECT RESIDENCE
25 OLD FARM ROAD,
VINEYARD HAVEN, MA 02568

SHEET TITLE: STRUCTURAL NOTES
& SCHEDULES

DATE:

13 JUNE 2023

S.01



FOUNDATION PLAN
VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. SEE S.01 FOR NOTES AND SCHEDULES

SCALE: 1/4" = 1'-0"

SOIL CLASSIFICATION NOTE

ALL STRUCTURES TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF DISTURBED, COMPACT BELOW ALL FOOTINGS AND SLABS TO A MIN. SOIL BEARING CAPACITY OF 2,500 PSF. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOIL, HIGH WATER TABLE OR ANY GEOLOGIC INSTABILITY, CONTACT THE ENGINEER ON RECORD.

CONCRETE SLAB-ON-GRADE

USE 4" THICK MIN. CONC. SLAB-ON-GRADE w/ 6" W/M OR APP. EQ. REINFORCEMENT PLACED AT MID-HEIGHT o/ 2" RIGID FOAM INSULATION o/ 2" CLEAN SAND o/ 10 MIL. VAPOR BARRIER

DRAINAGE NOTE

ENSURE SURFACE WATER IS DRAINING AWAY FROM BUILDING AND MUST FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET FROM BUILDINGS EDGE

BASEMENT WALL NOTE

- OKAY TO BACKFILL UP TO 1/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL. OF SLAB
- OKAY TO BACKFILL UP TO 2/3 OVERALL RETAINED HEIGHT PRIOR TO INSTALL. OF FLOOR FRAMING.

SPREAD FOOTING SCHEDULE

SYMBOL	DIMENSIONS & REINFORCEMENTS
P-1	2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY
P-2	2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY
P-3	3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY
P-4	3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY
P-5	4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)

CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 THROUGH #18 REBAR	2
		#5 REBAR, W31D31 WIRE, AND SMALLER	1-1/2
		#14 AND #18 REBAR	1-1/2
		#11 REBAR AND SMALLER	3/4
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#11 REBAR AND SMALLER	3/4
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2

HOLDOWN SCHEDULE

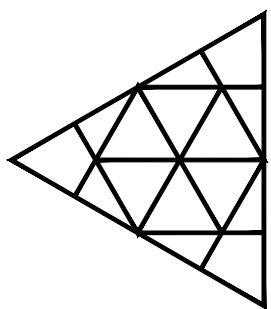
SYMBOL	HOLDOWN DEVICE	VALUE
A	(2)-2x STUD w/ "MSTC40" FLOOR-TO-FLOOR HOLDOWN	2,655 LBS
B	(2)-2x STUD w/ "MSTC52" FLOOR-TO-FLOOR HOLDOWN	3,985 LBS
C	(2)-2x STUD w/ "MSTC66" FLOOR-TO-FLOOR HOLDOWN	5,850 LBS
D	(2)-2x STUD w/ "MSTC48B3" FLOOR-TO-FLOOR HOLDOWN	3,900 LBS
E	(2)-2x STUD w/ "MSTC66B3" FLOOR-TO-FLOOR HOLDOWN	4,490 LBS
F	(2)-2x STUD w/ "HDU2" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "LSTHD8" / "LSTHD8RJ"	2,215 LBS
G	(2)-2x STUD w/ "HDU4" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "STHD10" / "STHD10RJ"	3,285 LBS
H	(2)-2x STUD w/ "HDU5" HOLD-DOWN w/ "SB5/8x24" (5/8"Ø A.B.) OR "STHD14" / "STHD14RJ"	4,340 LBS
J	(2)-2x STUD w/ "HDU8" HOLD-DOWN w/ "SB7/8x24" (7/8"Ø A.B.)	6,580 LBS
K	4 x 6 w/ "HDU11" HOLD-DOWN w/ "SB1x30" (1"Ø A.B.)	8,030 LBS
L	6 x 6 POST w/ "HDU14" HOLD-DOWN w/ "SB1x30" (1"Ø A.B.)	12,425 LBS
M	6x POST w/ "CMST12" FLOOR TO FLOOR HOLDOWN (END LENGTH NAILING TO POST, L=3'-3" MIN.)	9,215 LBS

NOTES:

- DEEPEEN FOOTINGS TO PROVIDE 3" MIN. CONCRETE COVER WHERE HOLDOWN ANCHORS ARE LONGER THAN THE FOOTING DEPTH.
- MSTC HOLD-DOWNS MAY USE 16d SINKERS OR 10d COMMON NAILS.
- MSTC HOLD-DOWNS TO BE CENTERED BETWEEN UPPER & LOWER FLOORS, MAX. CLEAR SPAN = 18". NAILS NOT REQUIRED IN CLEAR SPAN (RIM BOARD) AREA.

STRUCTURAL LEGEND

- POST BELOW
- POST ABOVE
- TIMBER FRAMING
- ENGINEERED LUMBER
- CONCRETE
- PLYWOOD SHEATHING
- STRUCTURAL STEEL
- REBAR
- STEEL SHEARWALLS & CONNECTORS



CHECK	DRAWN	DATE
CHD	TLS	10.31.22
CHD	TLS	04.13.23
CHD	TLS	06.13.23

MARTHA'S VINEYARD
ENGINEERING & DESIGN

79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE:

SEE PLANS

JOB NUMBER:

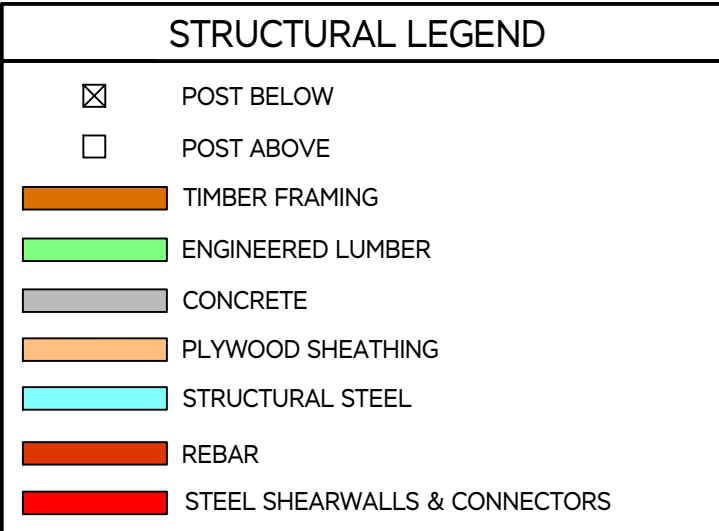
21165

PROJECT:
PROSPECT RESIDENCE
25 OLD FARM ROAD,
VINEYARD HAVEN, MA 02568

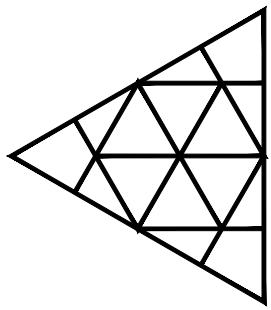
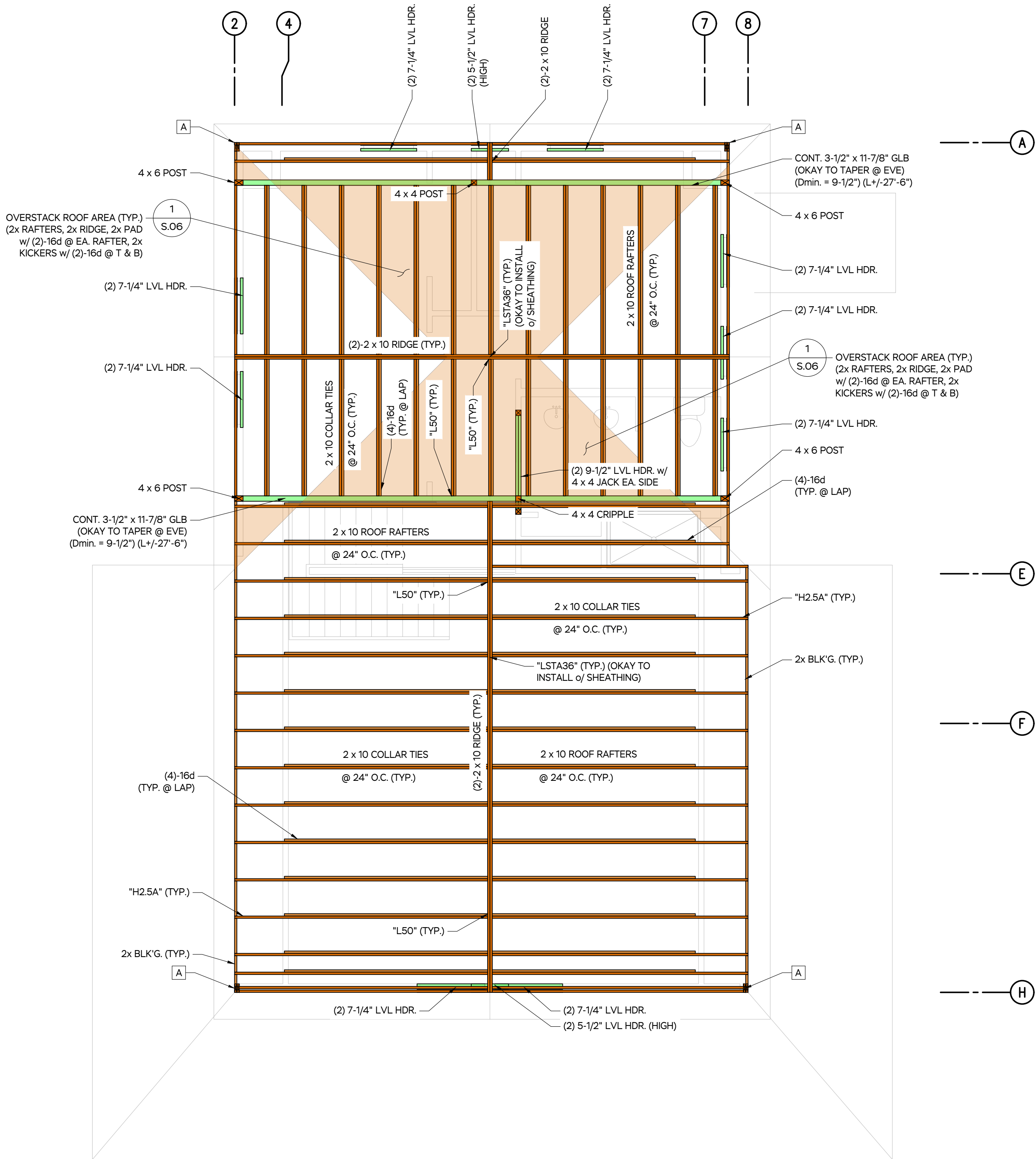
DATE:
13 JUNE 2023

SHEET TITLE:
FOUNDATION PLAN

S.02



STRUCTURAL LEGEND	
	POST BELOW
	POST ABOVE
	TIMBER FRAMING
	ENGINEERED LUMBER
	CONCRETE
	PLYWOOD SHEATHING
	STRUCTURAL STEEL
	REBAR
	STEEL SHEARWALLS & CONNECTORS



ISSUED FOR	DATE	DRAWN	CHECK
PERMIT SET	10.31.22	TLS	CHD
ARCHITECTURAL REVISIONS	04.13.23	TLS	CHD
ARCHITECTURAL REVISIONS	06.13.23	TLS	CHD

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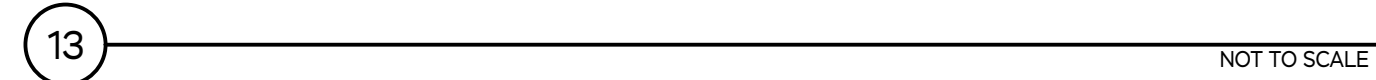
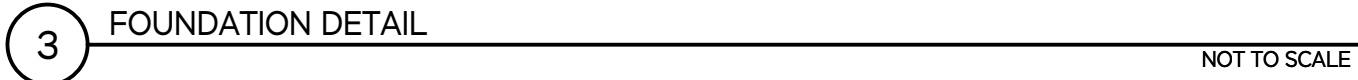
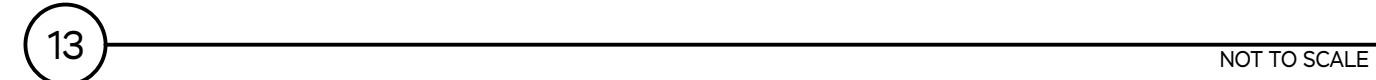
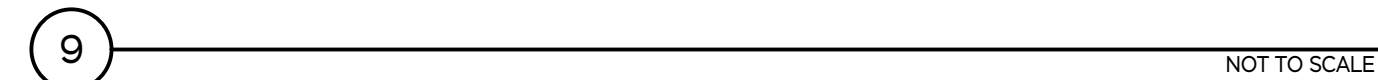
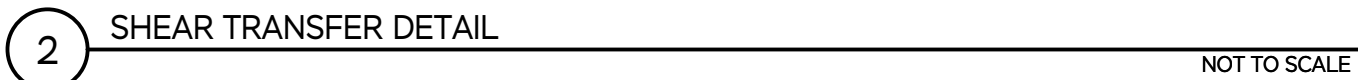
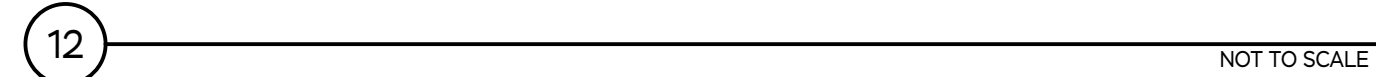
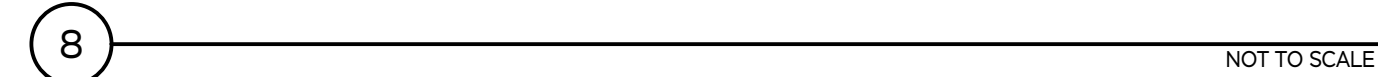
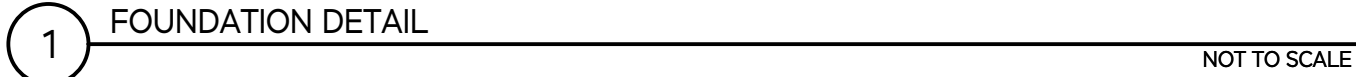
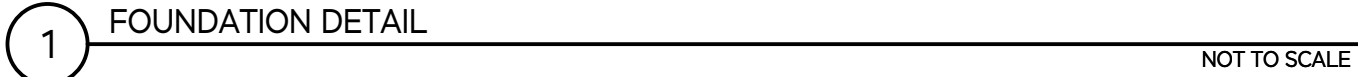
SCALE:
SEE PLANS

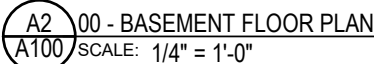
JOB NUMBER:
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PROJECT:
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25 OLD FARM ROAD,
VINEYARD HAVEN, MA 02568
SHEET TITLE: 2ND FLOOR / LOWER ROOF
FRAMING PLAN &
UPPER ROOF FRAMING PLAN

DATE:
13 JUNE 2023

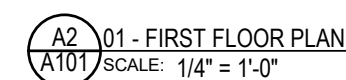
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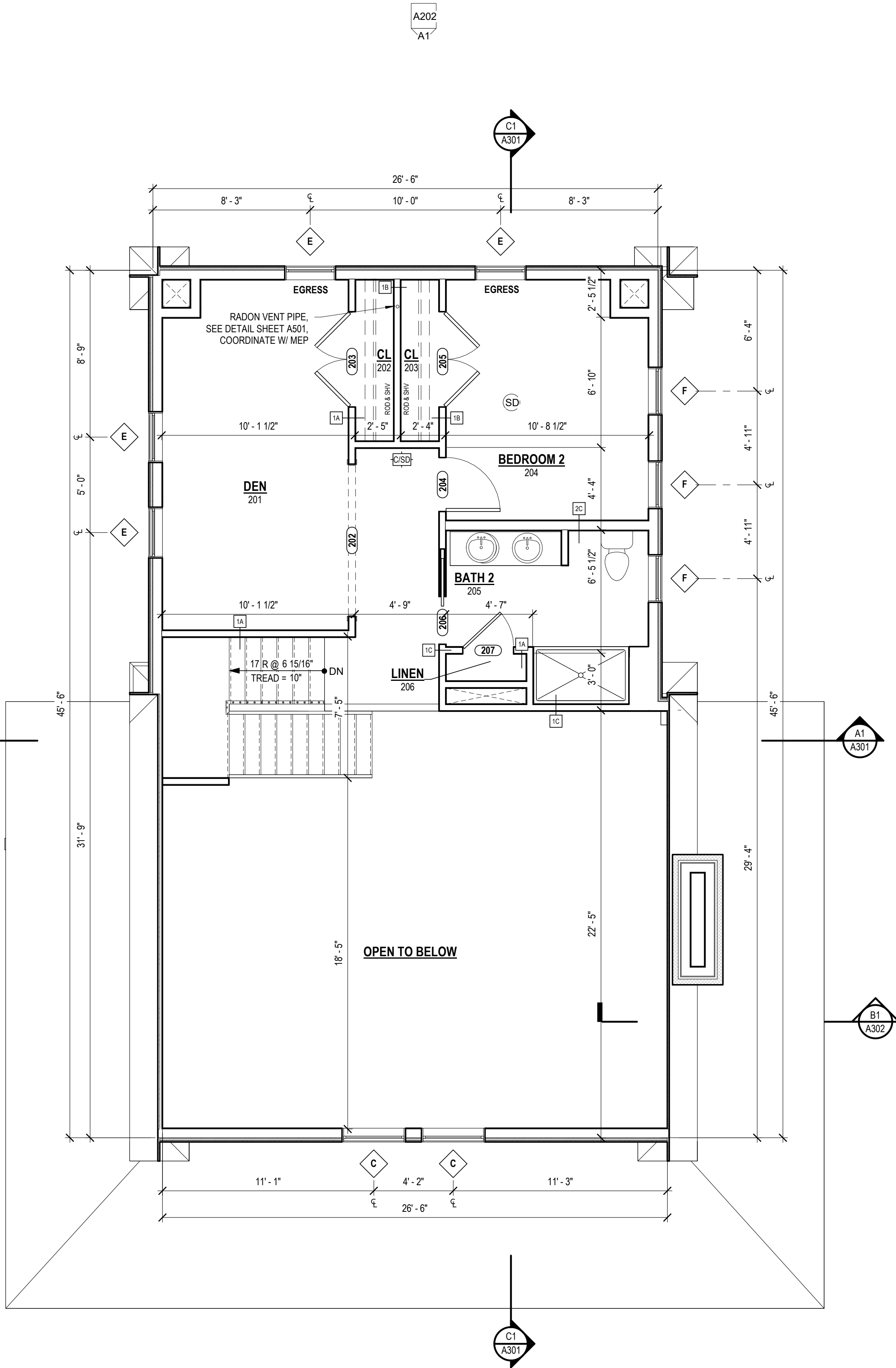


WALL TYPES





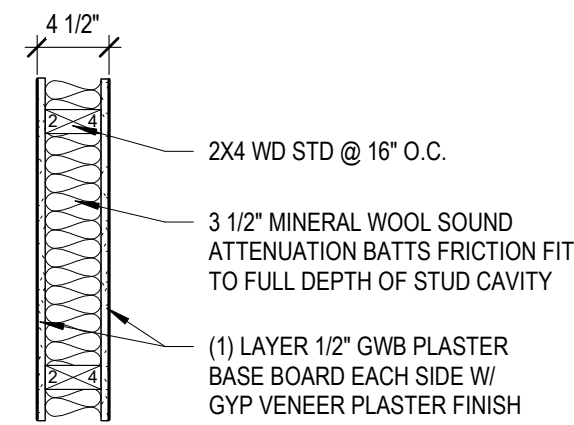
A101



A102 02 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

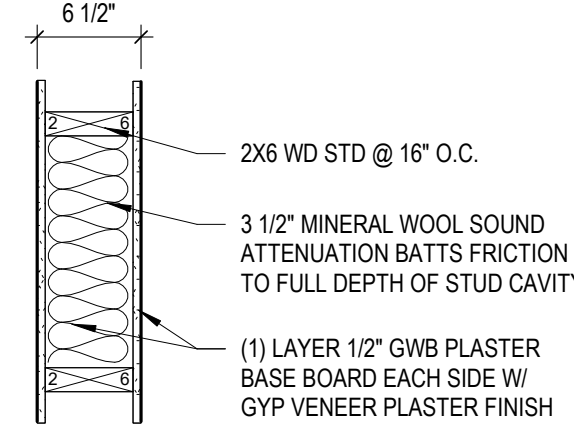
1. ALL FLOOR LEVELS ON THIS SHEET ARE ASSUMED TO BE AT ESTABLISHED DATUM UNLESS NOTED OTHERWISE.
2. ALL INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD, UNLESS NOTED OTHERWISE. SUBSTITUTE WITH 1/2" GREENBOARD GYPSUM WALL BOARD AT BATHROOMS AND BASEMENTS. SUBSTITUTE 1/2" CEMENT BACKER BOARD AT TILED SHOWER AND TUB SURROUNDS.
3. ALL INTERIOR WALLS AND PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR DECK ABOVE, UNLESS NOTED OTHERWISE.
4. ALL BATHROOM, LAUNDRY ROOM AND BEDROOM WALLS SHALL HAVE MINERAL WOOD ACOUSTIC INSULATION TYP.
5. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 6" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
6. ALL PENETRATIONS THROUGH FIRE RATED WALLS AND CEILINGS SHALL BE INSTALLED WITH FIRE DAMPERS, FIRE SEAL, ETC. SO AS TO MAINTAIN THE FIRE-RESISTIVE RATING AND STRUCTURAL INTEGRITY OF WALL AND CEILING ASSEMBLIES.
7. PROVIDE (5) 18" DEEP ADJUSTABLE WOOD SHELVES IN ALL LINEN CLOSETS AND PANTRY CLOSETS UNLESS OTHERWISE NOTED.
8. PROVIDE HANGING ROD AND 14" DEEP FIXED WOOD SHELF IN ALL BEDROOM CLOSETS AND COAT CLOSETS UNLESS OTHERWISE NOTED.
9. ATTIC ACCESS PANEL TO BE 22" X 30" AND INSULATED EQUAL TO ADJACENT WALL/CEILING ASSEMBLY.
10. ALL BEDROOMS AND BASEMENTS TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING COMPLYING WITH LOCAL CODES.
11. ALL STAIRS TO HAVE RISER/RUN AND GUARDS/HANDRAILS COMPLYING WITH LOCAL CODES.
12. COORDINATE ALL DIMENSIONS WITH STRUCTURAL FOUNDATION AND FRAMING PLANS. ANY DISCREPANCIES SHALL BE ADDRESSED WITH ARCHITECT AND OWNER.



1A 2X4 INTERIOR WALL
AS DESCRIBED

1B 2X4 INTERIOR WALL
OMIT ACOUSTICAL INSULATION

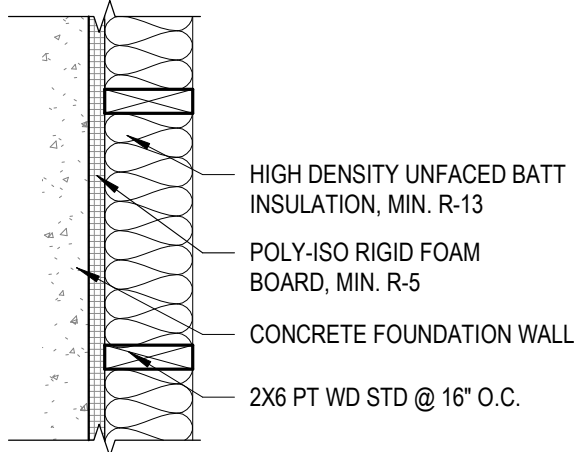
1C 2X4 INTERIOR WALL @ WET LOCATION
REPLACE GWB PLASTER BASE BOARD W/ 1/2" PNTD WATER-AND-MOLD-RESILIENT GWB ON WET SIDE



2A 2X6 INTERIOR WALL
AS DESCRIBED

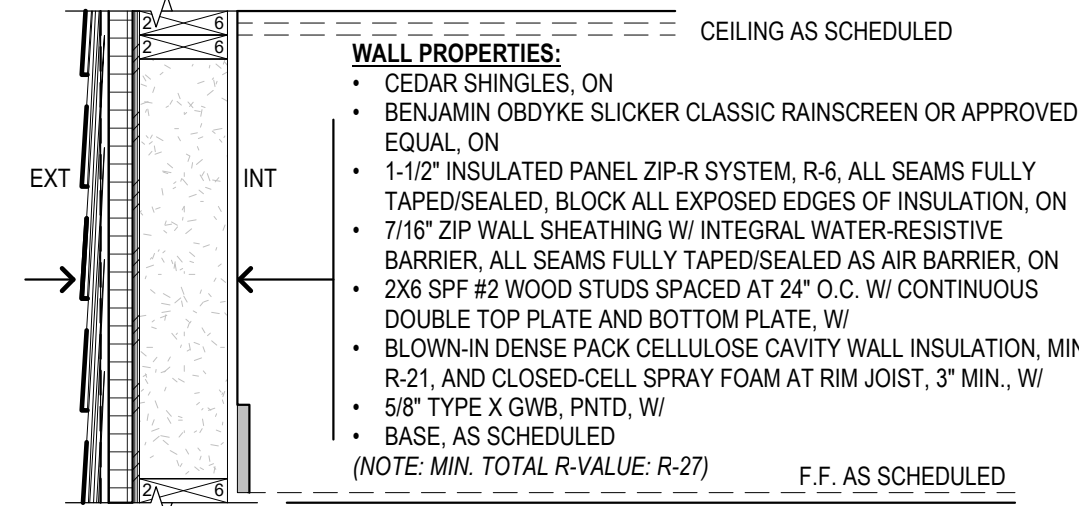
2B 2X6 INTERIOR WALL
OMIT ACOUSTICAL INSULATION

2C 2X6 INTERIOR WALL @ WET LOCATION
REPLACE GWB PLASTER BASE BOARD W/ 1/2" PNTD WATER-AND-MOLD-RESILIENT GWB ON WET SIDE



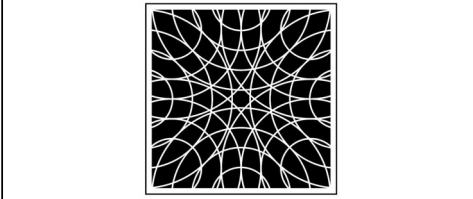
3A 2X6 FURRED WALL @ FOUNDATION
AS DESCRIBED

TYPICAL EXTERIOR WALL - SHINGLE SIDING



EXT TYPICAL - SHINGLE
SEE ELEVATIONS, WALL SECTIONS, & SPECIFICATIONS FOR EXTERIOR FINISHES

WALL TYPES



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PROSPECT
DOUBLE OX ROAD
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REVISION SCHEDULE

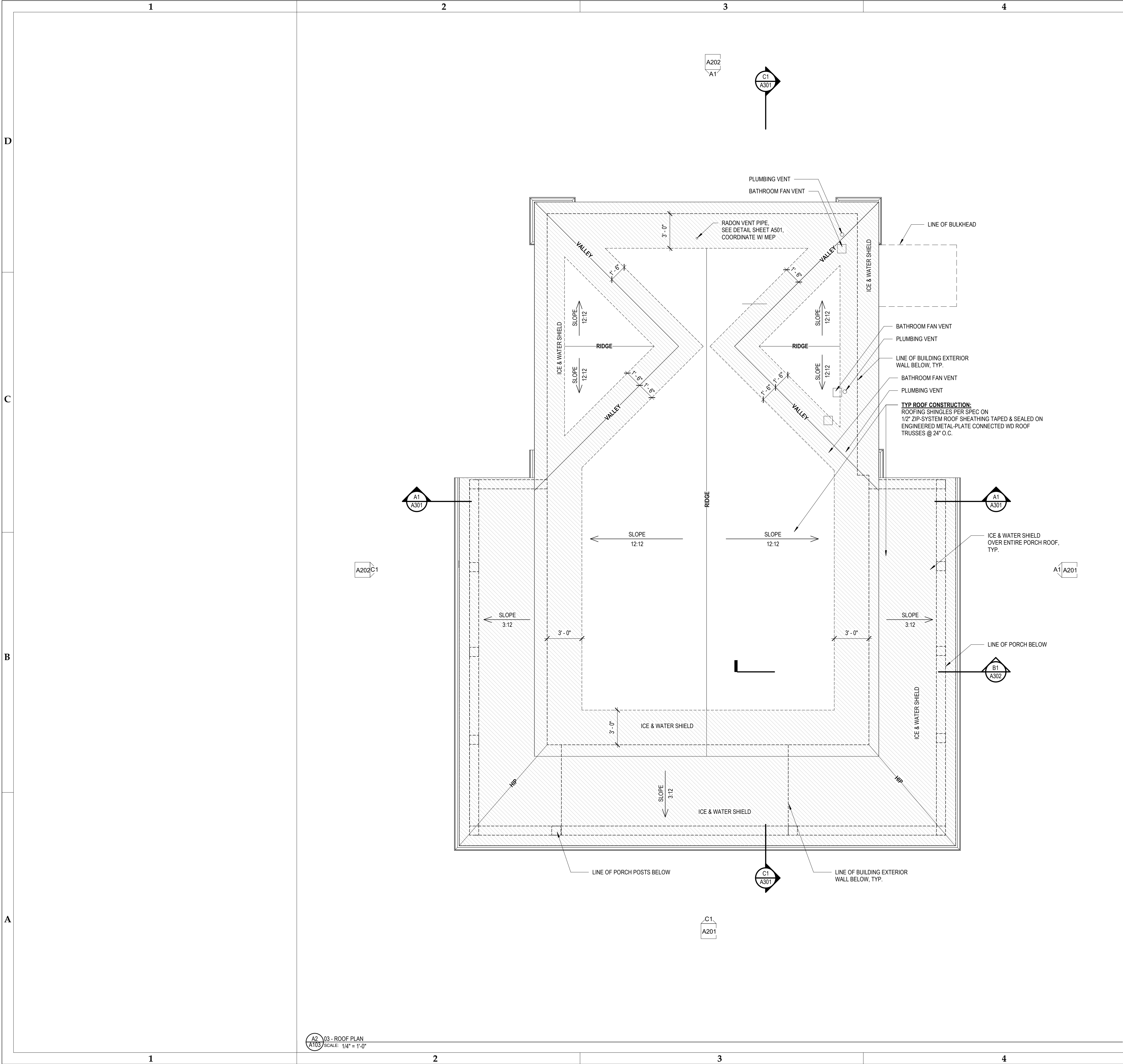
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SCALE: As indicated

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SECOND FLOOR
PLAN

A102



A2 103 - ROOF PLAN
A103 SCALE: 1/4" = 1'-0"

GENERAL SHEET NOTES - ROOFING

SHINGLES SHALL BE TESTED IN ACCORDANCE WITH ASTM D 7158 AND SHALL MEET THE CLASSIFICATION REQUIREMENTS FOR A BASIC WIND SPEED OF 110 MPH AND SHALL BE FASTENED TO THE ROOF TO ACCOMMODATE SUCH WIND SPEED.

PROVIDE CONTINUOUS METAL DRIP EDGE ON ALL EAVES AND RAKES.

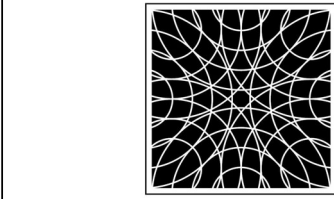
PROVIDE SIDEWALL FLASHING AT ALL VERTICAL SIDEWALLS BY THE STEP-FLASHING METHOD. FLASHING SHALL RUN UP VERTICAL SIDEWALLS 6" MINIMUM. AT THE END OF THE VERTICAL SIDEWALL THE STEP FLASHING SHALL BE TURNED OUT IN A MANNER THAT DIRECTS WATER AWAY FROM THE WALL AND ONTO THE ROOF AND/OR GUTTER.

PROVIDE (1) ONE LAYER NO. 30 (TYPE II) ASPHALT-SATURATED ORGANIC ROOFING FELT ON ALL ROOF SURFACES THAT ARE NOT COMPLETELY COVERED WITH ICE & WATER SHIELD MEMBRANE. ROOFING FELT MAY BE ELIMINATED AT THE CONTRACTOR'S OPTION IF ZIP SYSTEM ROOF SHEATHING WITH MOISTURE-RESISTIVE BARRIER IS UTILIZED AND ALL PANEL SEAMS ARE TAPED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

PROVIDE ICE & WATER SHIELD MEMBRANE AT ALL EAVES, RAKES, VALLEYS, EAVE RETURNS, PORCH ROOFS AND ROOF TO SIDEWALL INTERSECTIONS. EXTEND MEMBRANE FROM LOWEST EDGES OF ALL ROOF SURFACES UP THE SLOPE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

PROVIDE 6" ALUMINUM OSEE STYLE GUTTERS AS INDICATED ON THE DRAWINGS. PROVIDE 3"x4" COORDINATING ALUMINUM DOWNSPOUTS AND BRACKETS WITH BOOT SLEEVES AT GRADE AT BASE OF DOWNSPOUT.

LOCATE ALL VENT STACKS, RADON PIPES, ROOF VENTS IN FIELD W/ ARCHITECT. LOCATE ON REAR SIDE OF BUILDING RIDGE LINE.



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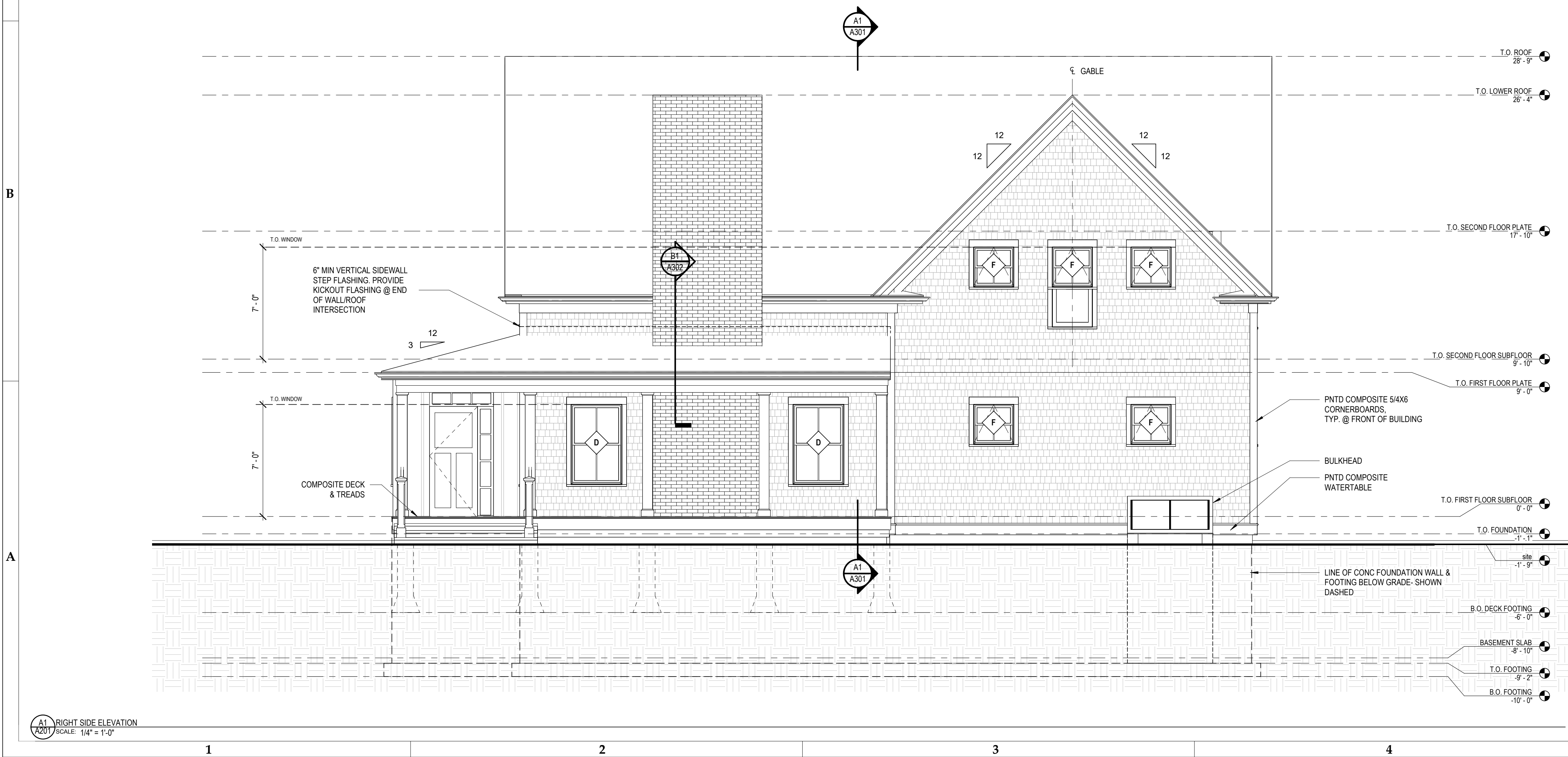
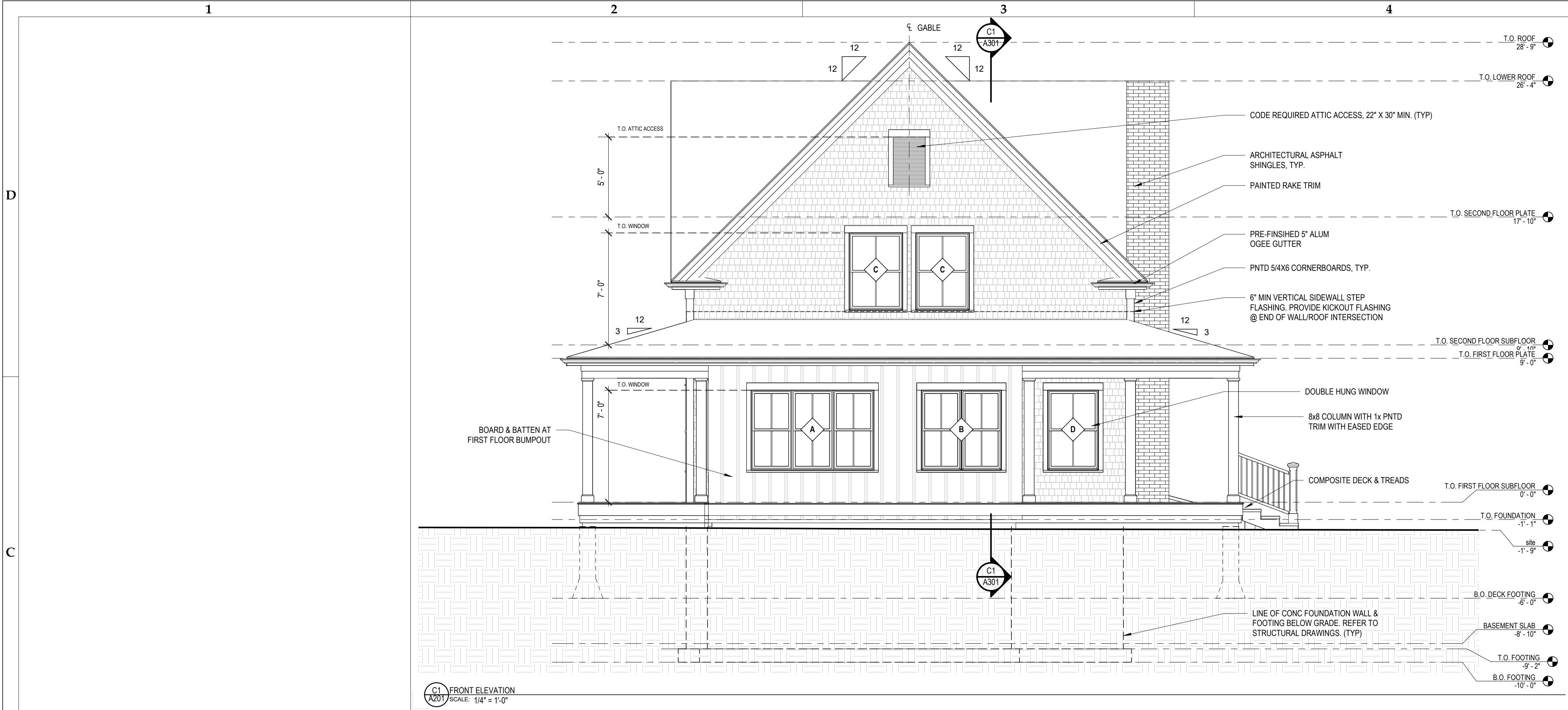
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ROOF PLAN

A103



GENERAL SHEET NOTES - ELEVATIONS

ALL FLOOR LEVELS ON THIS SHEET ARE ASSUMED TO BE AT ESTABLISHED DATUM UNLESS NOTED OTHERWISE. THE TOP OF CONCRETE SLAB AT EACH BUILDING IS CONSIDERED THE REFERENCE ELEVATION FOR ALL VERTICAL MEASUREMENTS AND DIMENSIONS. REFER TO THE SITE GRADING PLAN FOR ACTUAL SLAB ELEVATIONS.

ALIGN ALL ROOF AND WALL ACCESSORIES AS INDICATED ON THE ELEVATIONS. ANY ACCESSORIES NOT INDICATED ON THE PLANS SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.

ALL EXTERIOR WALL MOUNTED ELECTRICAL BOXES, HOSE BIBBS, LIGHT FIXTURES, DEVICES AND ACCESSORIES SHALL BE INSTALLED ON MOUNTING BLOCKS. MOUNTING BLOCKS SHALL BE PAINTED TO MATCH BUILDING SIDING FIELD COLOR.

ALL EXHAUST AND MECHANICAL VENT FINAL LOCATIONS TO BE VERIFIED IN FIELD W/ ARCHITECT. INSTALL ON 5/4" THICK MOUNTING BLOCKS WITH 15 DEGREE TOP BEVEL AND DRIP EDGE FLASHING. MOUNTING BLOCKS SHALL BE PAINTED TO MATCH BUILDING SIDING FIELD COLOR.

INSTALL MEMBRANE FLASHING AT ALL BUILDING CORNERS BEHIND CORNERBOARDS.

EXTERIOR SPECIFICATIONS

SIDING: CEDAR SHINGLES

BOARD AND BATTEN: SMOOTH PNTD BORAL TRU EXTERIOR BOARD & BATTEN, OR EQ.

RUNNING TRIM: SMOOTH PAINTED POLY-ASH TRIM BOARDS, BORAL TRU EXTERIOR OR EQ.

CASINGS: POLY-ASH TRIM BOARDS, 5/4x4 JAMB AND 5/4x6 HEAD CASING, BORAL TRU EXTERIOR OR EQ. 2" PVC HISTORIC SUBSILL AT WINDOWS, AZEK OR EQ.

CORNER BOARDS: 5/4 x 6 SMOOTH PNTD POLY-ASH TRIM, BORAL TRU EXTERIOR OR EQ.

SKIRT: 5/4 PNTD WATERTABLE, BORAL TRU EXTERIOR OR EQ.

WINDOWS: ANDERSEN 200 SERIES FIBERGLASS WINDOWS WITH SIMULATED DIVIDED LITES, DOUBLE-PANE GLASS WITH LOW-E COATING AND ARGON GAS, AND FULL FIBERGLASS MESH SCREEN.

ENTRY DOOR: PNTD INSULATED FIBERGLASS DOOR WITH VISION LITE, THERMA-TRU OR EQ.

DECKING: 1 1/4" x 5 1/4" CAPPED COMPOSITE DECK BOARDS WITH CONCEALED FASTENERS

COLUMNS: 10" SQUARE FIBERGLASS COLUMNS WITH SMOOTH SHAFT AND TUSCAN CAP AND BASE, HB&G OR EQ.

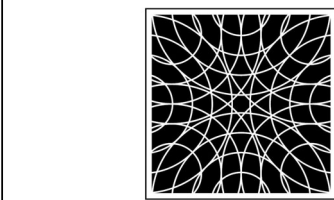
RAILINGS: COMPOSITE RAILING SYSTEM WITH 4" POST WRAP AND NEWEL CAP, HANDRAIL AT 36" AFF, AND 1-1/4" SQUARE BALUSTERS.

ROOFING: ARCHITECTURAL ASPHALT SHINGLE WITH 30-YR WARRANTY.

GUTTERS & LEADERS: 5" PREFINISHED ALUMINUM K-STYLE GUTTER WITH PREFINISHED ALUMINUM CORRUGATED DOWNSPOUT. TIE LEADERS TO DRAINAGE SYSTEM, DAYLIGHT, OR DRYWELL.

FOUNDATION: EXPOSED CAST-IN-PLACE CONCRETE WITH SMOOTH FORMED FINISH.

BULKHEAD: FIELD PAINTED, FACTORY PRIMED STEEL DOORS AND PRECAST CONCRETE STAIR, BILCO PERMENTRY OR EQUAL.



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LAGOON RIDGE -
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FOR PERMIT
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REVISION SCHEDULE

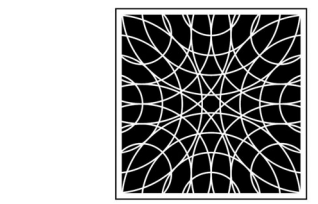
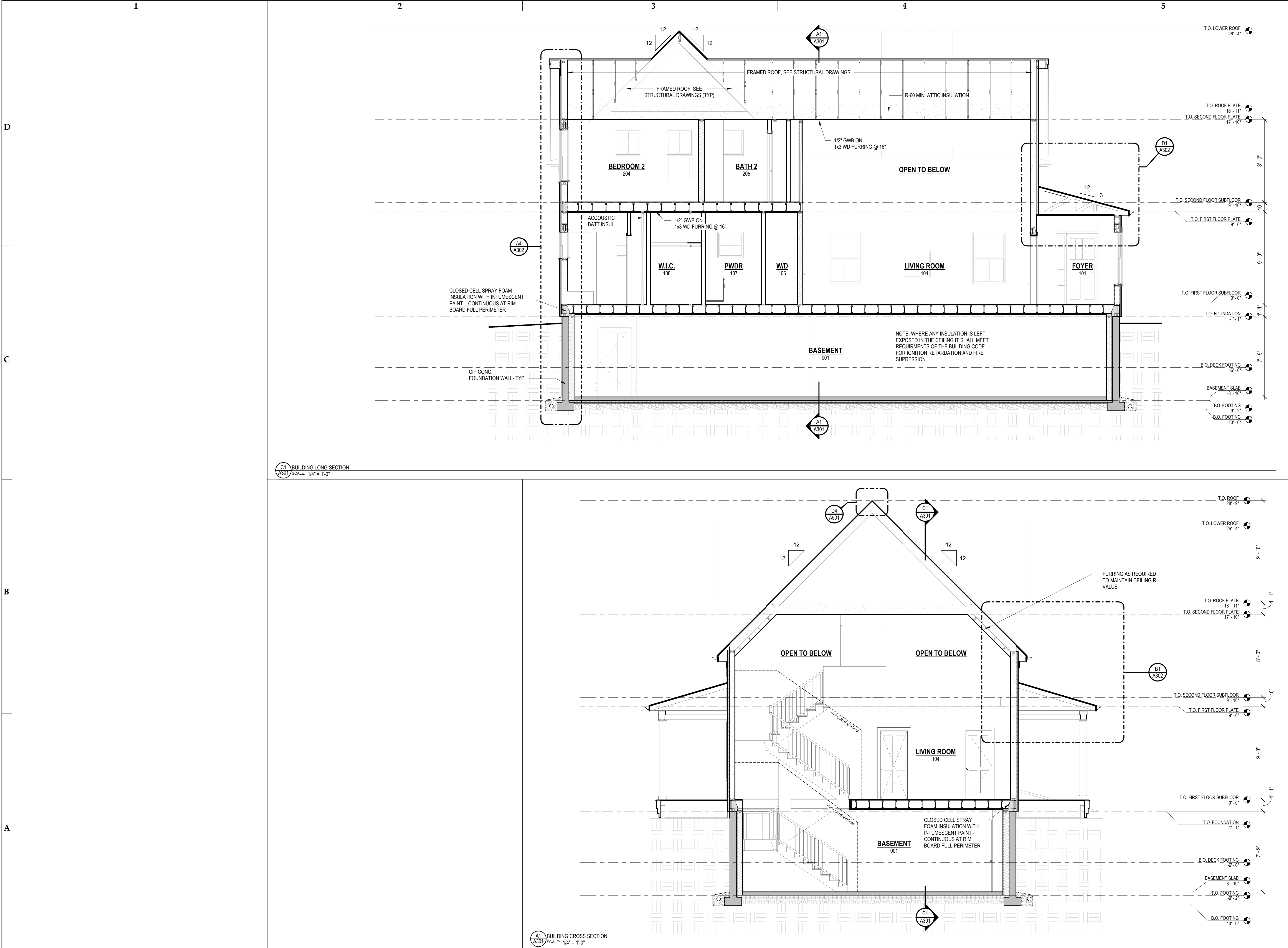
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EXTERIOR
ELEVATIONS

A201



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LAGOON RIDGE -
PROSPECT
DOUBLE OX ROAD
OAK BLUFFS, MA 02568



FOR PERMIT
AND
CONSTRUCTION

REVISION SCHEDULE

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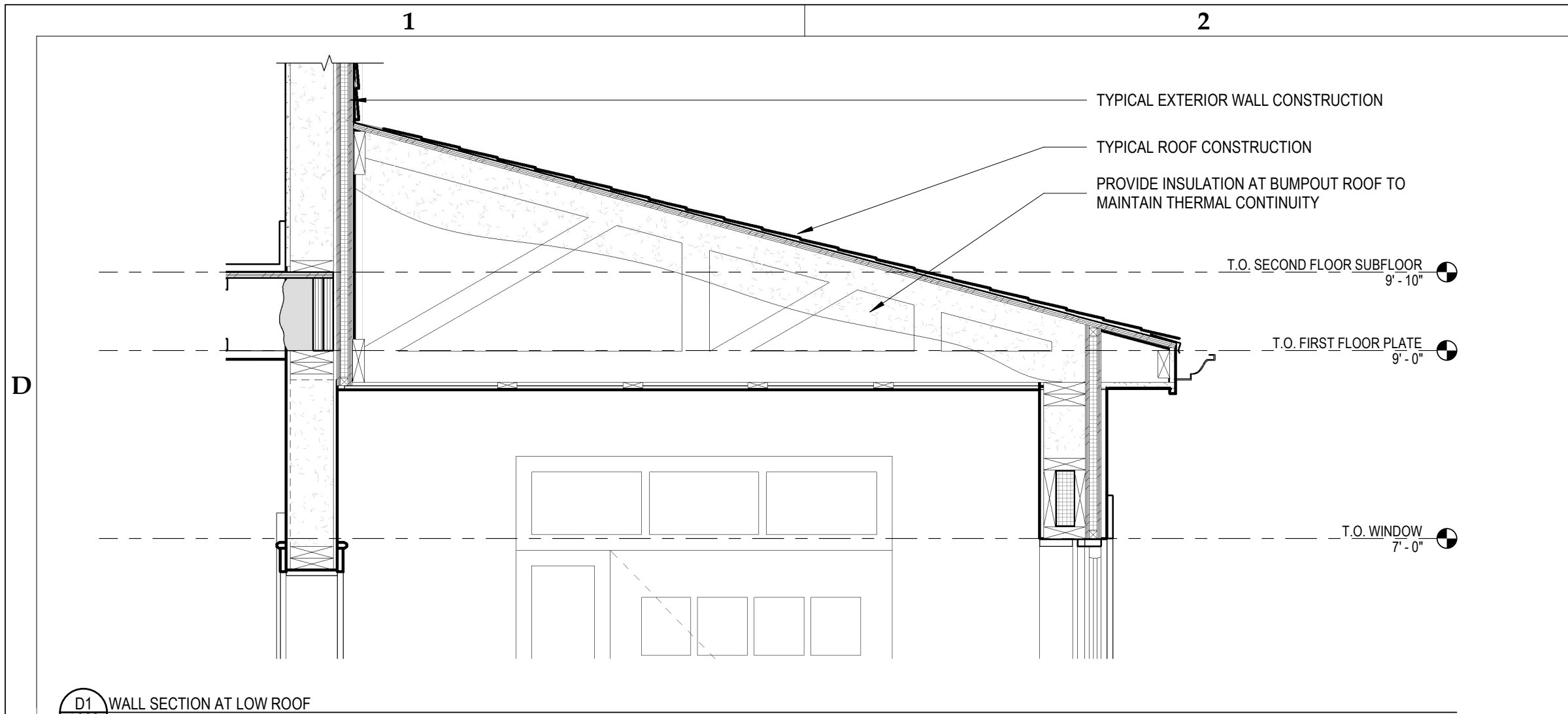
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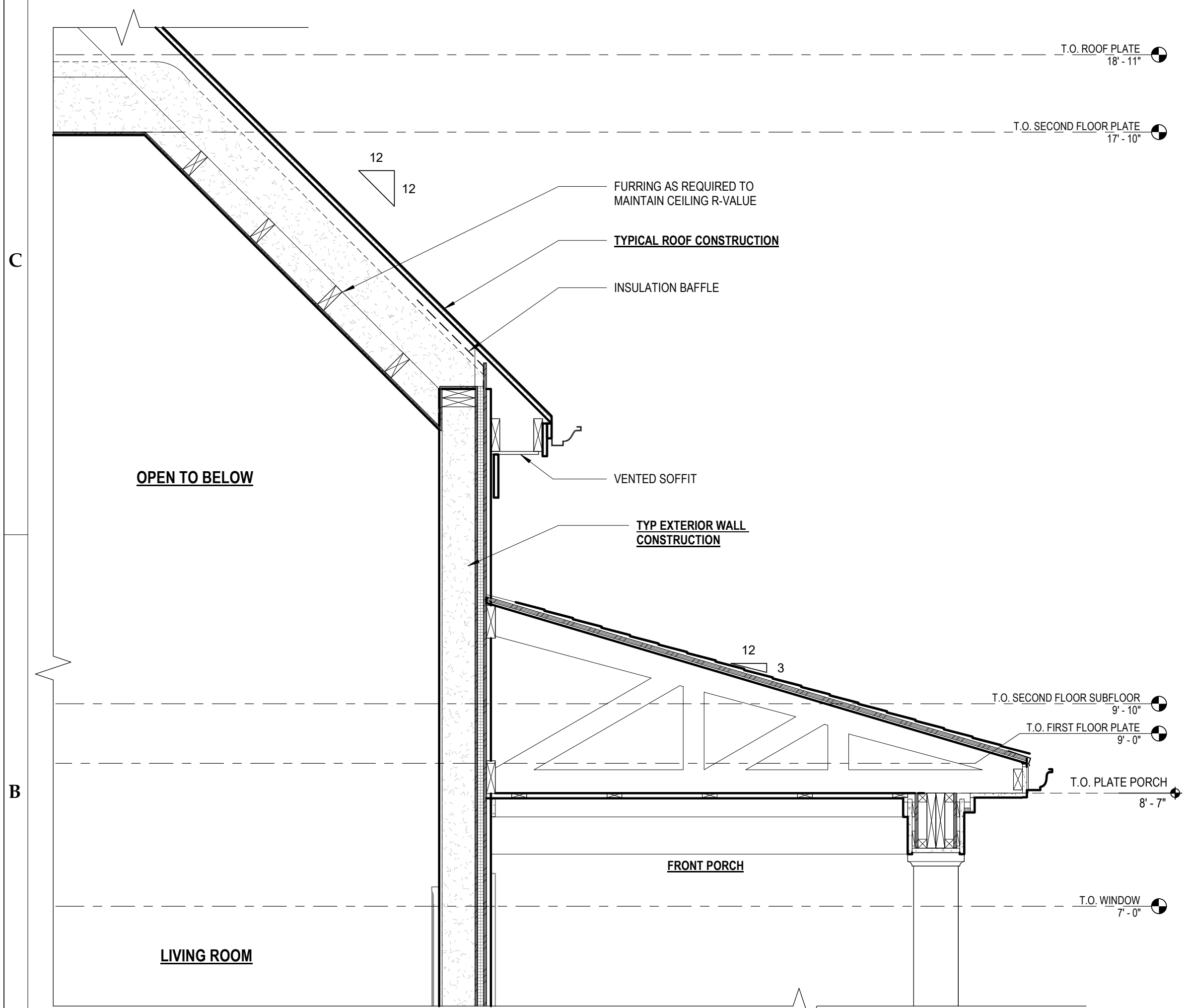
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BUILDING
SECTIONS

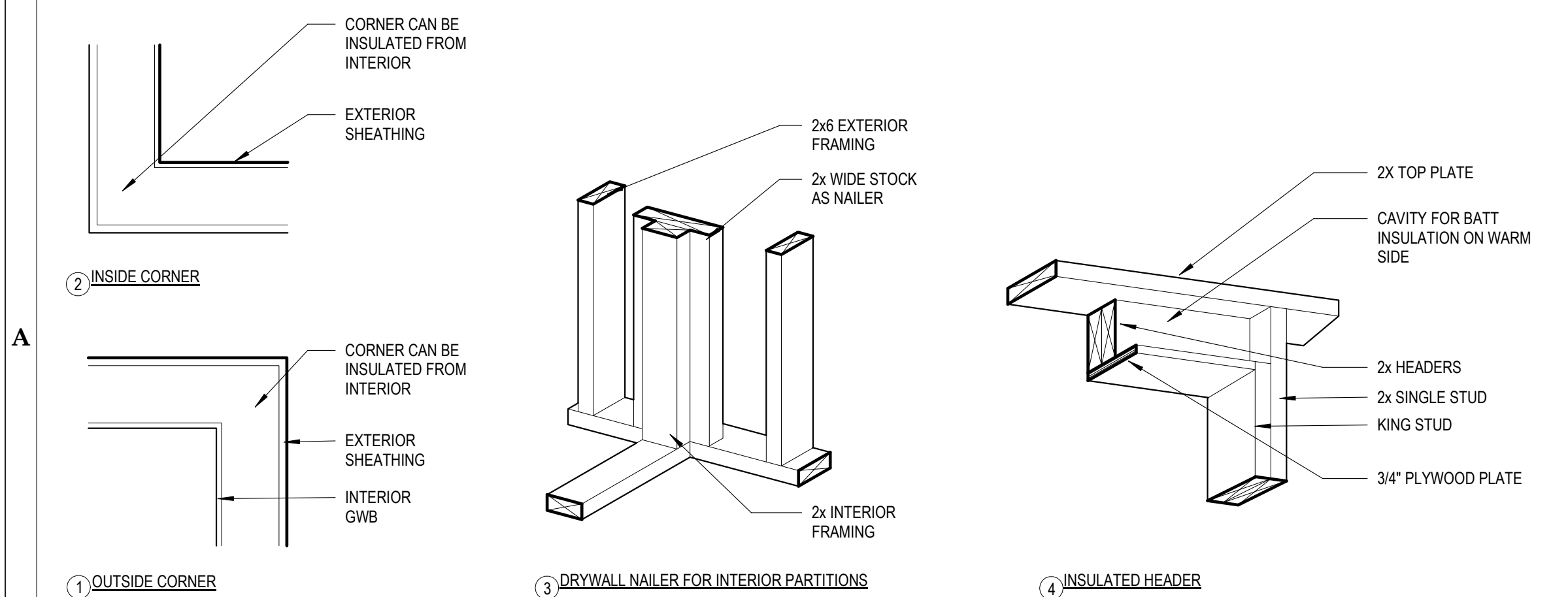
A301



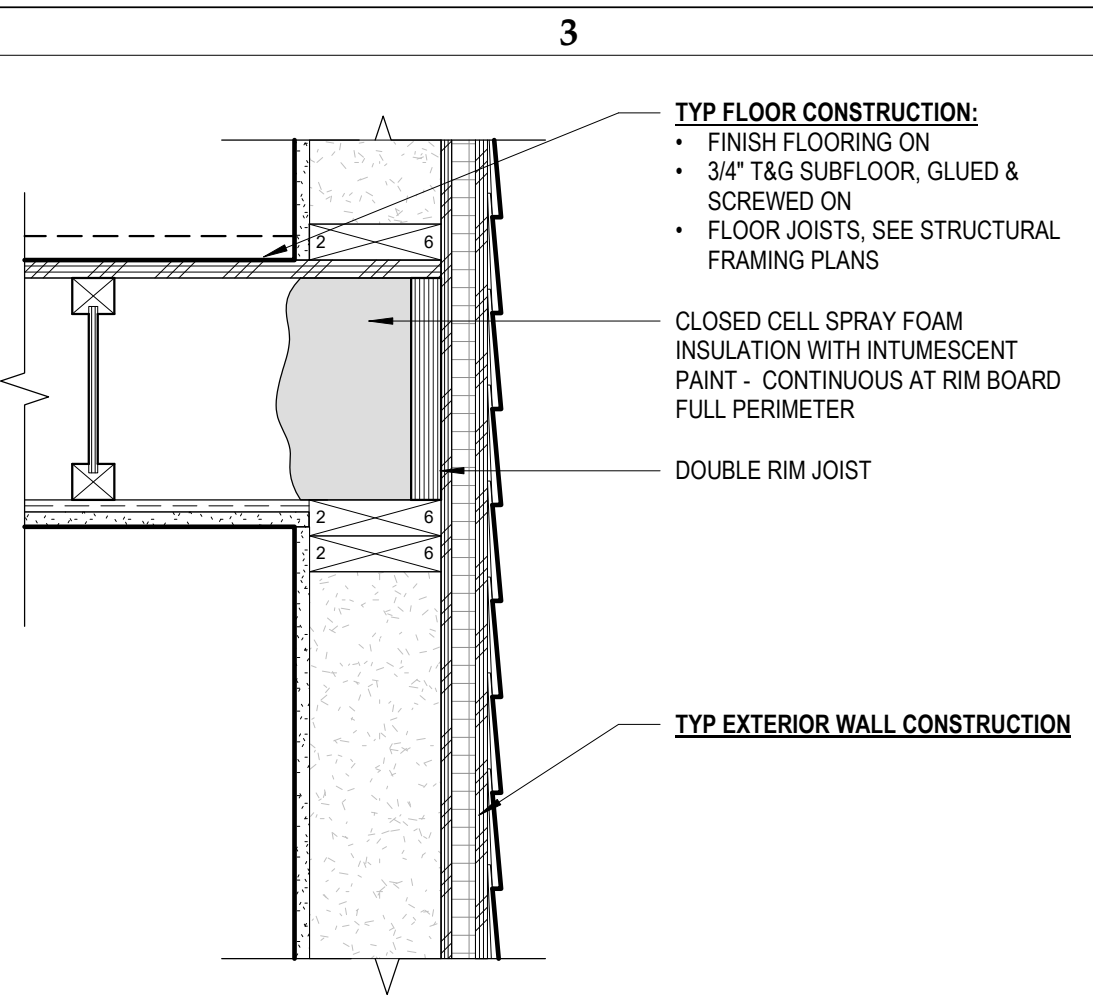
D1 WALL SECTION AT LOW ROOF
A302 SCALE: 3/4" = 1'-0"



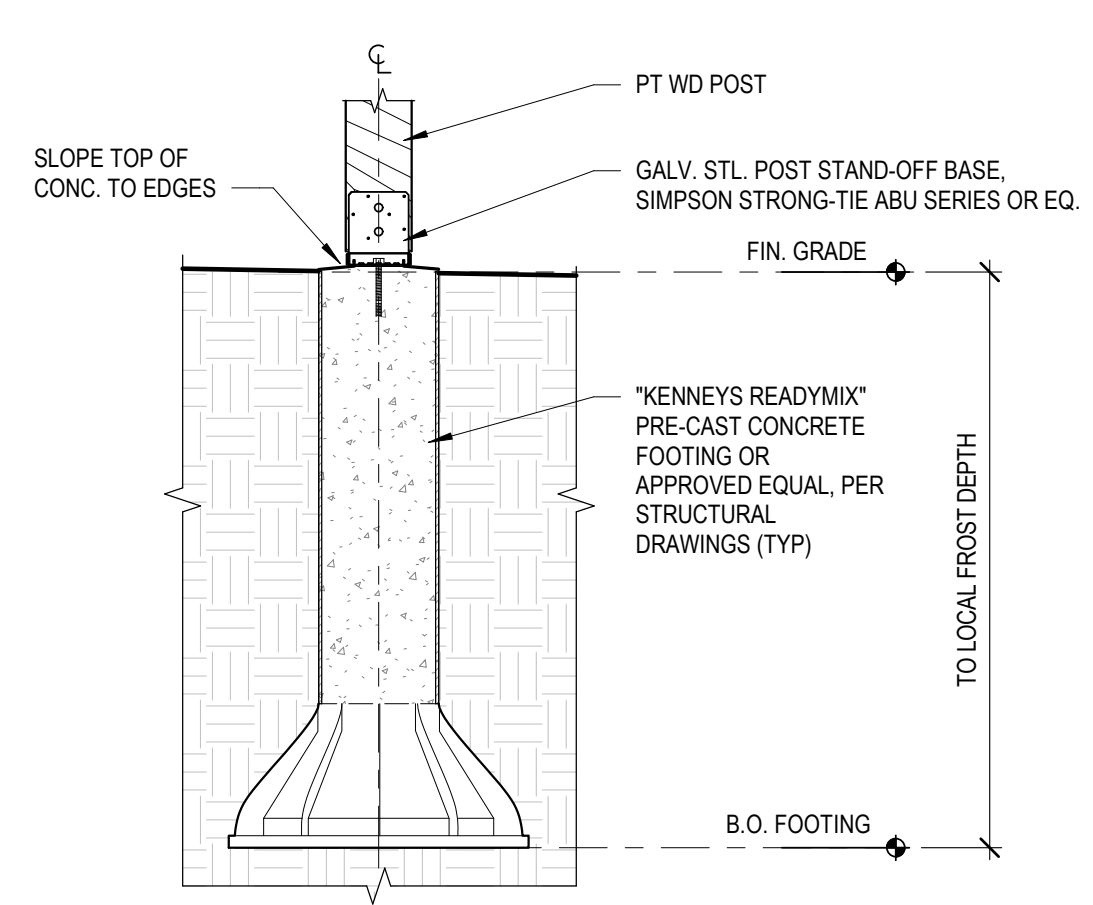
E1 WALL SECTION @ FRONT PORCH
A302 SCALE: 3/4" = 1'-0"



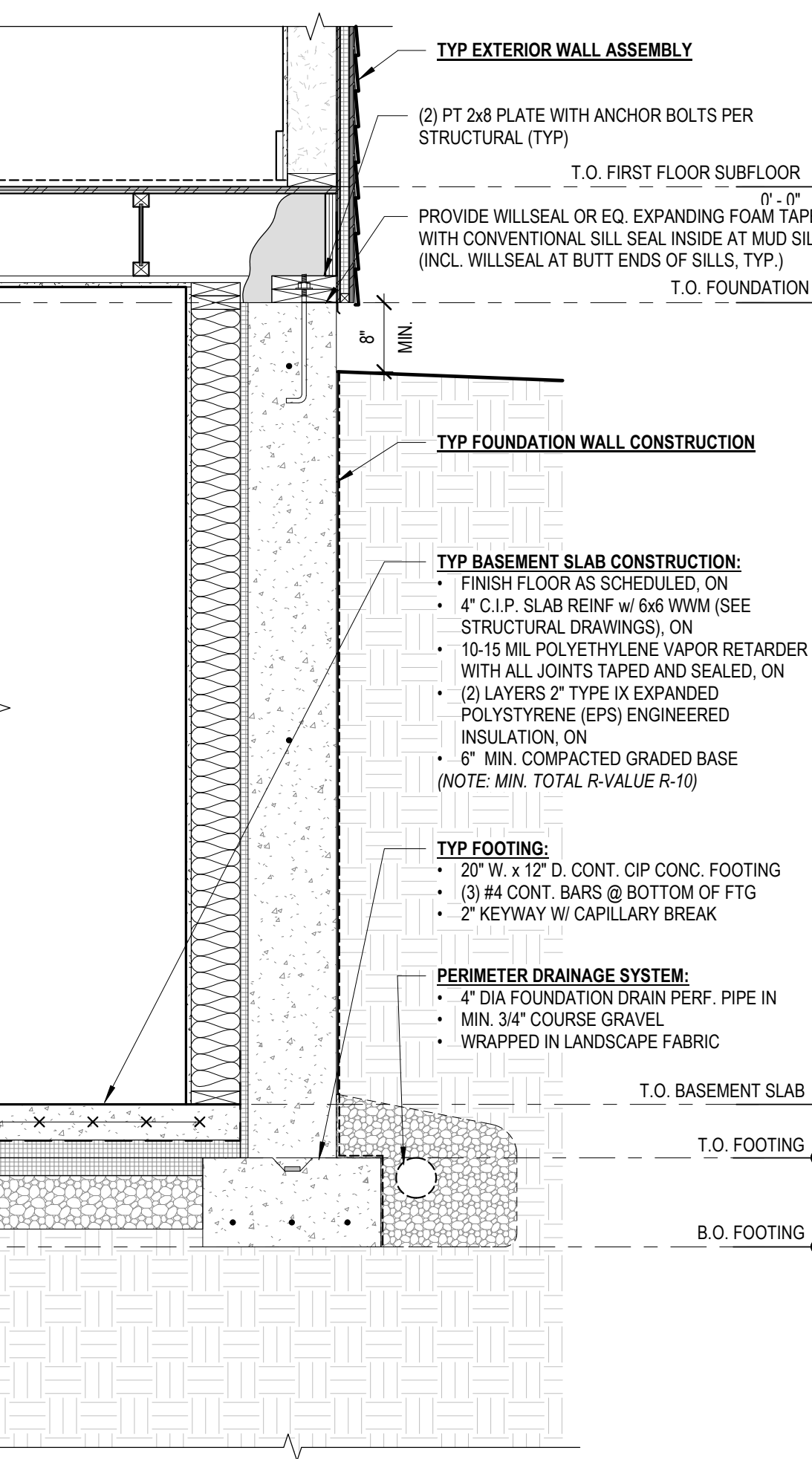
A1 TYPICAL FRAMING DETAILS
A302 SCALE: 1" = 1'-0"



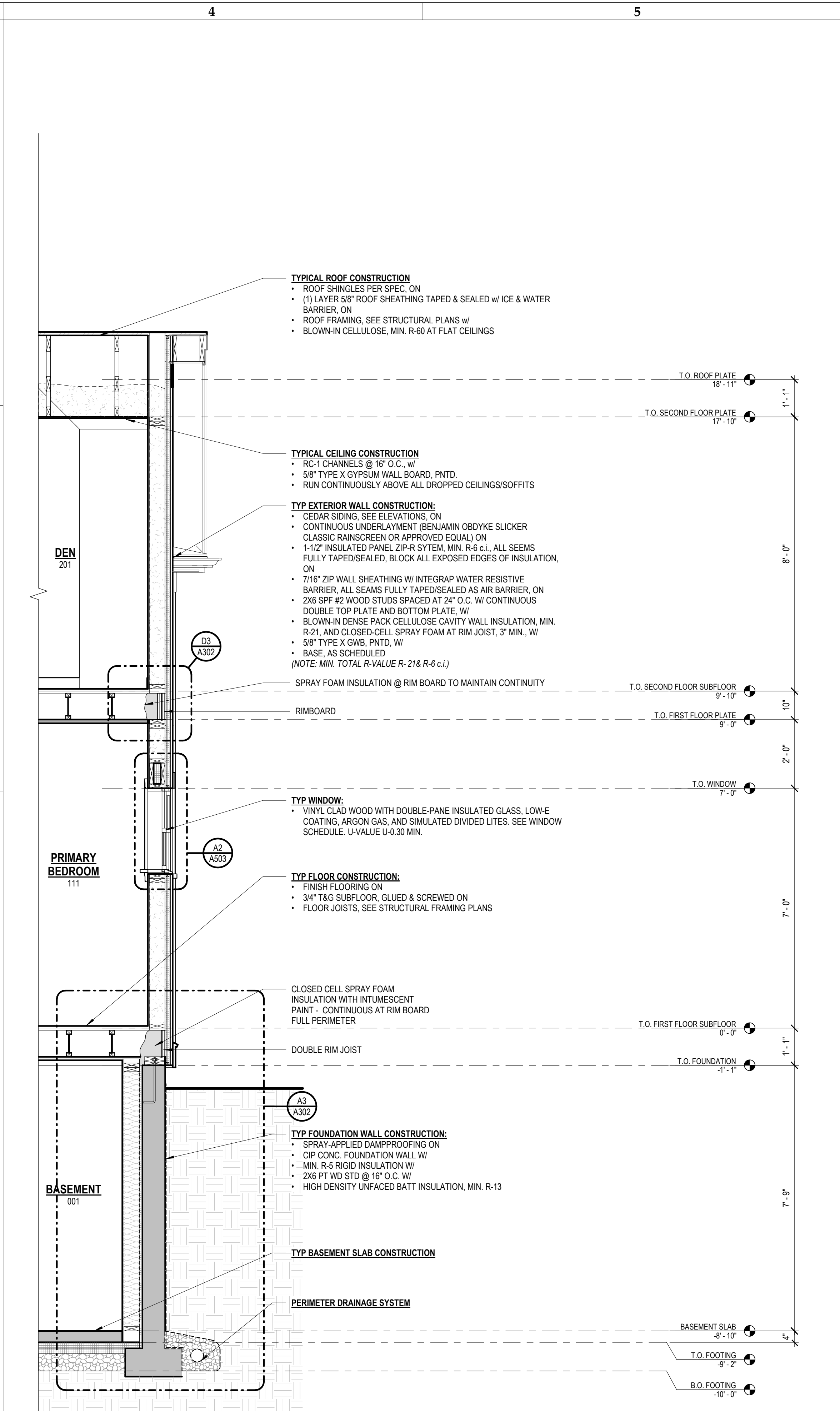
D2 DETAIL @ TYPICAL EXTERIOR + FLOOR ASSEMBLY
A302 SCALE: 1 1/2" = 1'-0"



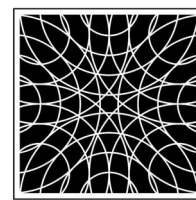
C2 DETAIL @ PORCH POST FOOTING
A302 SCALE: 3/4" = 1'-0"



A2 DETAIL @ TYPICAL FOUNDATION WALL
A302 SCALE: 3/4" = 1'-0"



A4 TYP. WALL SECTION
A302 SCALE: 1/2" = 1'-0"



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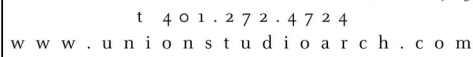
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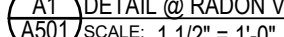
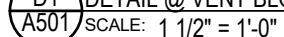
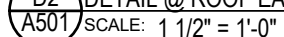
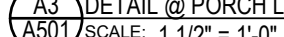
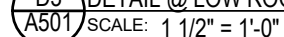
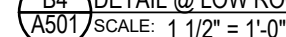
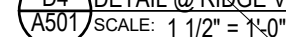
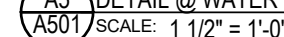
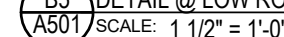
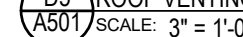
TYPICAL WALL
SECTIONS

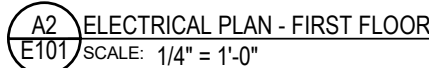
A302



NO.	ISSUE	DATE
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A501





LIGHTING FIXTURE LEGEND

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GENERAL MECHANICAL / HVAC NOTES

1. CONTRACTOR TO COORDINATE ALL MECHANICAL DUCTWORK WITH OWNER AND ARCHITECT.
2. PROVIDE CODE SPECIFIED FRESH AIR INTAKE OF 20 CFM PER PERSON TO ALL OCCUPIED SPACES.
3. SEE SPECIFICATIONS FOR ADDITIONAL MECHANICAL / HVAC REQUIREMENTS.

GENERAL PLUMBING NOTES

1. PROVIDE ROUGH PLUMBING, FINISH PLUMBING AND FIXTURES AS REQUIRED AS SHOWN ON DRAWINGS
2. ALL PIPING SHALL BE CONCEALED IN WALLS, FLOORS, CEILINGS OR PIPE CHASES.
3. PROVIDE ESCUTCHEONS AT PIPING PENETRATIONS THROUGH WALLS.
4. PROVIDE FROST-PROOF HOSE BIBS WHERE INDICATED.
5. SEE SPECIFICATIONS FOR ADDITIONAL PLUMBING REQUIREMENTS.

GENERAL ELECTRICAL NOTES

1. COMPLETE ELECTRIC PANELBOARD WITH TRIM - SIZE OF PANEL BOARD AS NOTED IN SPECIFICATIONS. CONTRACTOR TO LOCATE ELECTRICAL SERVICES AND METERS AS SHOWN ON DRAWINGS.
2. REFER TO MOUNTING HEIGHT SCHEDULE FOR HEIGHTS OF ELECTRICAL COMPONENTS.
3. INSTALLATION OF OUTLET BOXES BACK TO BACK IS NOT PERMITTED.
4. ALL WIRING SHALL BE CONCEALED IN ALL FINISHED AREAS.
5. PROVIDE ALL GROUNDING INCLUDING GREEN EQUIPMENT.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY FIXTURE ACCESSORIES.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND INSPECTIONS.
8. MAINTAIN CORRECT PHASING SEQUENCE OF ALL FEEDERS AND CIRCUITS BY ESTABLISHED PHASE IDENTIFICATION AND MAINTAIN CORRECT RELATIONSHIP THROUGHOUT THE SYSTEM. PROVIDE LINE BALANCE WITHIN 10% OF NORMAL LOADS.
9. SUPPORT INSULATED CONDUCTOR WIRE EVERY 4 FEET AND WITHIN 1 FOOT OF ALL BOXES.
10. PROVIDE OUTLET BOX SUPPORT BRACKETS, COUPLINGS AND CONNECTORS WITH STEEL SET SCREWS - DIE CAST FITTINGS ARE NOT ACCEPTABLE.
11. IN ADDITION TO ALL DEDICATED CIRCUITS REQUIRED BY CODE, PROVIDE DEDICATED 20 AMP CIRCUIT FOR REFRIGERATOR LOCATIONS AS INDICATED ON DRAWINGS.
12. COORDINATE POWER REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT.
13. ALL CABLE TELEVISION AND TELEPHONE ROUTING SHALL BE MADE WITH HOMERUNS, WIRED (CABLED) FROM ONE CENTRAL LOCATION ON THE OUTSIDE OF THE HOME (6 FT. MAX FROM ELECTRICAL METER PAN) TO EACH OUTLET LOCATION WITHIN THE HOME. COAXIAL CABLE SHALL BE RG-6 QUAD SHIELD CABLE.

GENERAL LIFE SAFETY NOTES

1. THIS BUILDING SHALL BE PROVIDED WITH SMOKE AND CARBON MONOXIDE (CO) DETECTORS, INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF NFPA 72 AND NFPA 720, AND IN THE DIRECTION, AND TO THE SATISFACTION OF, THE LOCAL AUTHORITY HAVING JURISDICTION (LAHJ).
2. SMOKE DETECTORS TO BE HARDWIRED WITH BATTERY BACKUP COMBINATION TYPE WITH DUAL-SENSING PHOTOELECTRIC AND IONIZATION SMOKE AND FIRE ALARM. AT GARAGE ONLY, USE HARDWIRED HEAT DETECTOR WITH BATTERY BACKUP.
3. THE GENERAL CONTRACTOR SHALL FURNISH, LOCATE AND INSTALL AN APPROVED TYPE ABC FIRE EXTINGUISHER.



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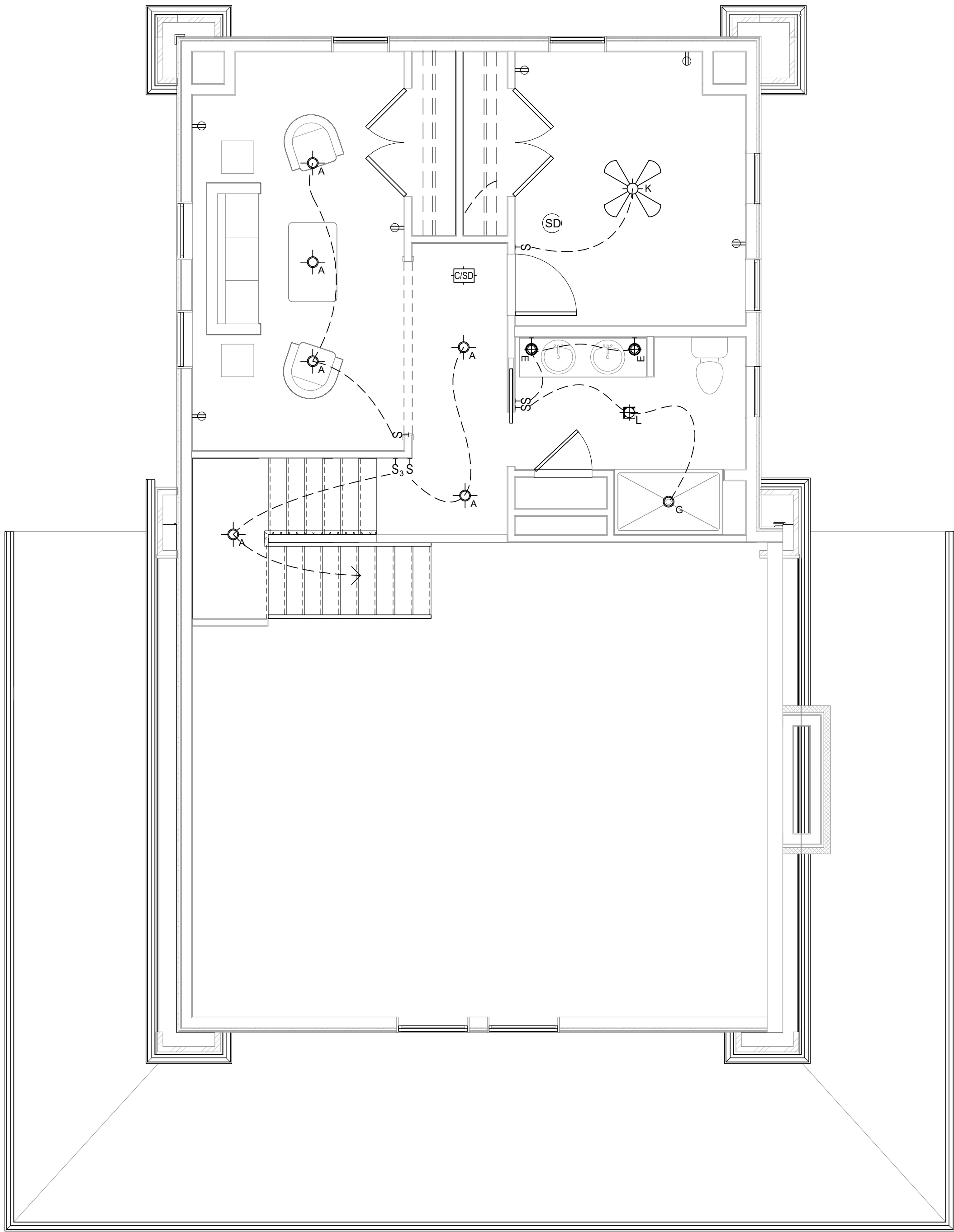
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FIRST FLOOR
ELECTRICAL
PLAN

E101

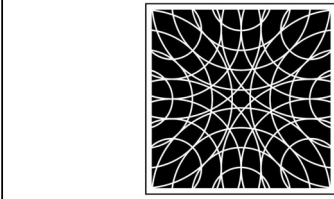


ELECTRICAL SYMBOLS LEGEND	
RECEPTACLE - DUPLEX	SMOKE DETECTOR - CEILING MOUNT
RECEPTACLE - DUPLEX GFI	HEAT DETECTOR - CEILING MOUNT
RECEPTACLE - DUPLEX SPLIT WIRED	COMBINATION SMOKE / CARBON MONOXIDE DETECTOR - CEILING MOUNT
RECEPTACLE - SINGLE 220 VOLT	THERMOSTAT CONTROL
RECEPTACLE - FLOOR	DOOR BELL - PUSH BUTTON
SWITCH - SINGLE POLE	DOOR BELL - CHIME
SWITCH - THREE WAY	CABLE TV
SWITCH - DIMMER	TELEPHONE / CAT V

LIGHTING FIXTURE LEGEND	
SYMBOL	DESCRIPTION
	CEILING MOUNTED SEMI-FLUSH FIXTURE
	CEILING MOUNTED PENDANT
	WALL SCONCE
	RECESSED DOWNLIGHT
	RECESSED WALL WASHER
	CEILING FAN
	CEILING FAN W/ LIGHT KIT
	TRACK / CABLE & LAMP
	LINEAR ACCENT / UNDER CABINET
	FLUORESCENT UTILITY
	CERAMIC BULB SOCKET, PULL CHAIN
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBINATION
	GARAGE DOOR OPENER WITH LIGHT
	EXTERIOR FLOOD LIGHT

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SECOND FLOOR
ELECTRICAL
PLAN

E102